

## **Exhibit 1**

### **Project Summary**

The Antillean Manor Co-op was a failing HUD coop both physically and financially. HUD requested that Carabetta Management Companies (Carabetta) take over management of the complex. Over the past two years, Carabetta organized the tenants and helped reconstitute the Board of Directors (Board). It also helped identified counsel to represent the Board which resulted in the Board amending the Bylaws, executing a purchase and sales agreement, and negotiated a Relocation Plan. The building is structurally obsolete and mechanical systems are failing or have reached the end of their life cycles. Therefore, the proposed project includes the demolition of the existing building, as well as environmental remediation of any hazardous materials during demolition. Currently the building consists of 31 units and is 100% subsidized by a Section 8 Project Based Subsidy and all the units will be set aside for households earning less than 50% of the Area Median Income. There will be no commercial space within the development however the project does include common area amenities for use by the residents. The property will be owned by Antillean Manor Estates, LLC.



**CITY OF NEW HAVEN APPLICATION FOR TAX ABATEMENT  
FOR LOW INCOME, MULTI-FAMILY RESIDENTIAL DEVELOPMENTS**

**I. APPLICANT INFORMATION**

- A. APPLICATION DATE: December 11, 2020
- B. APPLICANT NAME: Antillean Estates, LLC
- C. IF DIFFERENT, OWNER'S NAME: Antillean Manor Co-op, Inc.
- D. PROJECT NAME: Antillean Manor
- E. PROJECT ADDRESS(S): 206 Day Street, New Haven, CT 06511
- F. KEY CONTACT INFORMATION:
- Name: Helen Muniz
- Title: Development Officer
- Address: 200 Pratt Street, Meriden, CT 06450
- Phone Number: 203-639-5130
- Email: Helen.muniz@carabetta.com

**II. APPLICATION SUMMARY**

- A. Project Type:
- ☐ Renovation of Existing Structure
  - ☒ New Construction
  - ☐ Conversion of existing commercial, industrial or mixed income property
  - ☐ Existing multi-family dwelling(s)
- B. Total Number of Units: 31      Total Number of Buildings: 1
- C. Total Number of Affordable Units: 31



- G. A copy of the deed or lease as applicable. If the Property is not owned or leased at the time of application, the applicant shall provide a copy of the contract to purchase or the proposed form of lease.

**See Exhibit 4 for a copy of Purchase and Sale Agreement and all amendments.**

### **III. PROJECT SUMMARY**

- A. Statement of the nature of the proposed project: low and moderate income housing, market rate residential, commercial, industrial, etc., and whether the Property is to be owned or leased.

**The Antillean Manor Co-op was a failing HUD coop both physically and financially. HUD requested that Carabetta Management Companies (Carabetta) take over management of the complex. Over the past two years, Carabetta organized the tenants and helped reconstitute the Board of Directors (Board). It also helped identified counsel to represent the Board which resulted in the Board amending the Bylaws, executing a purchase and sales agreement, and negotiated a Relocation Plan. The building is structurally obsolete and mechanical systems are failing or have reached the end of their life cycles. Therefore, the proposed project includes the demolition of the existing building, as well as environmental remediation of any hazardous materials during demolition. Currently the building consists of 31 units and is 100% subsidized by a Section 8 Project Based Subsidy and all the units will be set aside for households earning less than 50% of the Area Median Income. There will be no commercial space within the development however the project does include common area amenities for use by the residents. The property will be owned by Antillean Manor Estates, LLC.**

- B. Proposed term or duration of the tax exemption is \_\_\_\_\_ 15 years or X 17 years (per Sec. II: Tax Abatement Agreements, Para. 3).
- C. A detailed description of the improvements to be made to the Property, including approved site plans and, if appropriate, architectural drawings;

**The existing building will be razed and a new building will be reconstructed, consisting of 31 affordable housing units, using modern energy efficient wood framed construction assemblies. The unit breakdown is as follows:**

- **5 one-bedroom units**
- **11 two-bedroom units**
- **14 three-bedroom units**
- **1 four bedroom unit**

**The redevelopment will ensure a 50 to 75-year lifespan for the complex. Common amenities for all residents include an outdoor patio, resident services offices and space for provision of wellness services. The Property will also be improved upon with a bicycle parking area and landscaping. The redevelopment will also allow for the acquisition and repositioning of the property as a multifamily rental. The project is in the transitioning Dwight neighborhood and is located directly across the street from the Amistad Academy and borders a park. The project is in the West River**

Neighborhood Revitalization Zone and within New Haven LCI's development strategy area. The project is an eyesore and in need of redevelopment. LCI has identified the redevelopment of this building as one of the key elements in its strategy for the transitioning neighborhood and has worked cooperatively with Carabetta to get this project done.

See attached plans from Schadler Selnau Architects.

- D. Estimate of the total cost of the project, including an estimate of construction costs, certified by a qualified architect, engineer, general contractor, or 3<sup>rd</sup> party construction estimator;

The estimated total development cost (TDC) of the project is \$15,128,892. The total hard costs including contingency are estimated to be \$10,410,278 based on cost estimates from SRC Construction Services, LLC, the General Contractor. The remainder of the TDC is comprised of architecture & engineering fees, surveying, environmental engineering, legal fees, financing costs, real estate taxes & insurance, and other soft costs. Please see attached estimate from SRC Construction Services, LLC. Please see Exhibit 7 for a copy of the project cost summary.

- E. Fiscal plan outlining the schedule of annual gross revenue or gross shelter rents, the estimated expenditures for operation and maintenance, interest, amortization of debt and all reserves.

The total annual gross revenue is \$633,969 which assumes the rent levels indicated below.

# of Bdrms	Units	Tenant to Pay Portion	Utility Allowance	Subsidy per unit	Monthly Rent	Annual Gross Revenue
1	5	\$308	\$65.05	\$1,028	\$1,271	\$76,257
2	11	\$500	\$84.89	\$1,118	\$1,533	\$202,371
3	14	\$600	\$101.43	\$1,455	\$1,954	\$328,200
4	1	\$800	\$120.17	\$1,582	\$2,262	\$27,142
<b>Total</b>						<b>\$633,969</b>

Vacancy rate is 2.5%, net revenue after vacancy is \$618,120. The total operating budget for the project anticipates \$8,454/unit in operating expenses, or \$262,080 in annual expenditures. This includes operating and maintenance costs as well as reserves for the property and is based on securing tax relief set at \$1,372.70/unit which is exactly what the project currently pays. Based on our anticipated income, the property can support a mortgage of \$6.2 million at 3% interest for a 42-year term and 42-year amortization schedule. The scheduled annual debt service on the loan would be approximately \$249,078 (this is in addition to the operating expenses noted above). Please see the 3-year operating proforma included in Exhibit 8.

- F. A construction schedule indicating a certain commencement date which must occur no later than one (1) years from the date of the application.

The project has received all its funding commitments and expects to close on all of its financing by June. Assuming a construction start in Summer 2021, the project anticipates the following schedule:

**Construction Start: June 2021**  
**50% Completion: December 2021**  
**100% Complete: June 2022**  
**Close-out/Conversion: July 2022**  
**Fully Leased: July 2022**

- G. Copies of all government approvals such as zoning, city plan, etc. granting the Project final site plan approval;

**See zoning approval.**

- H. Disclosure statements as to all parties, including principals, partners, parent and subsidiary companies, having any interest in the Property or the Project or any other Financial Agreements then in force and effect in which any of such parties have any interest;

**Below are the following entities with an interest in the project.**

• City of New Haven	\$400,000
• Regions Affordable Housing	\$4,354,954
• United Illuminating	\$87,188
• Operating Reserve	\$54,893
• Connecticut Housing Finance Authority	\$6,200,000
• State of CT, Department of Housing	\$3,500,000
• Antillean Estates, LLC	\$531,857

**It should also be disclosed the SRC Construction Services, LLC has an identity of interest as it is affiliated with Carabetta Management Co. The construction contract is valued at nearly \$10 million.**

- I. If new construction, conversion or significant renovation project, the Developer's good faith estimate of the number and type of temporary jobs to be created by the Project during construction and the number and type of permanent jobs to be created by the Project within one year after construction is completed.

**In coordination with the General Contractor, the developer estimates that the construction of Antillean Manor will create approximately 50-100 temporary jobs across all trades. Upon completion, the project will create approximately 3 permanent jobs through its property operations. This will include a property manager, on-site maintenance, a resident service coordinator and a part-time office administrator.**

- J. The Applicant for new construction, conversion or significant renovations projects shall also set forth the proposed Project Employment Plan of the Developer and a certification by the Developer that such plan complies with the City's employment policies;

**See attached Project Employment Plan.**

- K. Certification by the Developer that he/she confirms the accuracy of all information contained in the application and that the information is true and correct to the best of the Developer's knowledge. The certification shall contain the original signature of the Developer notarized or witnessed. In the case of a corporation, the Developer shall submit a notarized corporate resolution, with the seal of the corporation and the signature of the Secretary of the corporation, authorizing the signatory to bind the corporation or similar bona fide evidence of authorization. In the case of a partnership the Developer shall submit a copy of the partnership agreement, certified to be a full force and effect, authorizing the signatory to bind the partnership. In the case of a limited liability corporation or any other lawful business organization, the Developer shall submit other similar bona fide evidence of the signatory's authority; and

**Please see attached Developer's Certification included with this exhibit. Corporate Resolutions as well as evidence of signatory authority have been included in Exhibit 10.**

- L. Payment in full of the applicable application fee payable to the Controller. This fee is found in the New Haven Code of General Ordinances, Article XX: Section 17-201: Permit Licenses and User Fees.

**The check was mailed via UPS and accepted by security. The envelope was addressed Albert Lucas.**

#### **IV. REQUIRED DOCUMENTATION**

- A. Unless otherwise provided by the Applicant in response to previous requests for information in the application, the Applicant shall provide the City with the following information as part of request for a Tax Abatement. Additional information may be requested as deemed necessary by the Board of Alderman or the City for part of their review of the applicants request for tax abatement.
- ⊗ 6 copies of application and all required documentation with tabs labeled with appropriate Exhibit identified.
  - ⊗ Exhibit 1: Project Summary Response. **Included on page 3 of this document.**
  - ⊗ Exhibit 2: Organizational Documents including Certificate of Incorporation, Articles of Incorporation, etc. **See attached.**
  - ⊗ Exhibit 3: Certificate of Good Standing. **See attached.**
  - ⊗ Exhibit 4: Evidence of site control by the applicant (Deed, Option/Purchase Sale Agreement) if Applicant does not yet have ownership of the property. **See attached.**
  - ⊗ Exhibit 5: Copy of recorded Affordable or Restrictive Covenants, if applicable. **See attached.**
  - ⊗ Exhibit 6: Evidence that Property and all real estate owned by principal(s) are current on New Haven taxes. **See attached.**
  - ⊗ Exhibit 7: Development budget for new construction, conversion and significant renovations projects to include all sources, method and amount of money to be subscribed through public or private capital, to fund the construction of the Project, including the amount of stock or other

securities to be issued therefore, or the extent of capital invested and the proprietary or ownership interest obtained in consideration therefore. Documentation of all commitment letters is required. **See attached.**

- ⌘ Exhibit 8: Three (3) year proforma assumptions for the development. **See attached.**
- ⌘ Exhibit 9: If the applicant is requesting an abatement for a scattered site multifamily rental, than the Applicant must provide proforma, budget and tax information for each property that is requesting an abatement form and provide the Board of Alders and the City with a consolidated set of budget, proforma and financial information for the properties for which the abatements are being requested. **Not Applicable.**
- ⌘ Exhibit 10: Corporate resolution authorizing the Development to enter into a tax abatement agreement with the City of New Haven. **See attached.**
- ⌘ Exhibit 11: Attach, any and all, letters of support. **See attached.**
- ⌘ Exhibit 12: Documentation of any rental subsidies, if applicable. **See attached.**











LOCATION MAP  
SCALE: 1" = 1,000'

### ZONING TABLE OF BULK REQUIREMENTS

ZONE B-2 (HIGH-MID-LEVEL DENSITY DISTRICT)  
OFFICE SECTION 14 OF NEW HAVEN ZONING ORDINANCE AND ZEA APPROVAL 19-02-03

DESCRIPTION	REQUIRED	PROPOSED
MINIMUM LOT AREA	4,000 SF	42,750 SF
MINIMUM AVERAGE LOT WIDTH	80 FT (4)	87 FT (4)
MINIMUM LOT AREA PER DWELLING UNIT	1,300 SF (4)	1,300 SF
MINIMUM BUILDING COVERAGE	30%	30%
MINIMUM BUILDING HEIGHT	8 FT (4)	8 FT (4)
MINIMUM FRONT YARD	8 FT (4)	8 FT (4)
MINIMUM REAR YARD	8 FT (4)	8 FT (4)
MINIMUM SIDE YARD	8 FT (4)	8 FT (4)
PARKING REQUIREMENTS (4)	2.0 SPACES	2.0 SPACES

PER CITY OF NEW HAVEN ZONING ORDINANCE SECTION 14 - "MINIMUMS":  
SPACES REQUIRED = 2 BICYCLE SPACES FOR THE FIRST 10 PARKING SPACES + 2 SPACES  
1 SPACE FOR EACH 10 ADDITIONAL PARKING SPACES = 36-10 = 26 + 2 = 28 + 2 SPACES  
TOTAL NUMBER OF BICYCLE SPACES REQUIRED = 8 SPACES  
BICYCLE SPACES PROVIDED = 8 SPACES

### BICYCLE PARKING COUNT

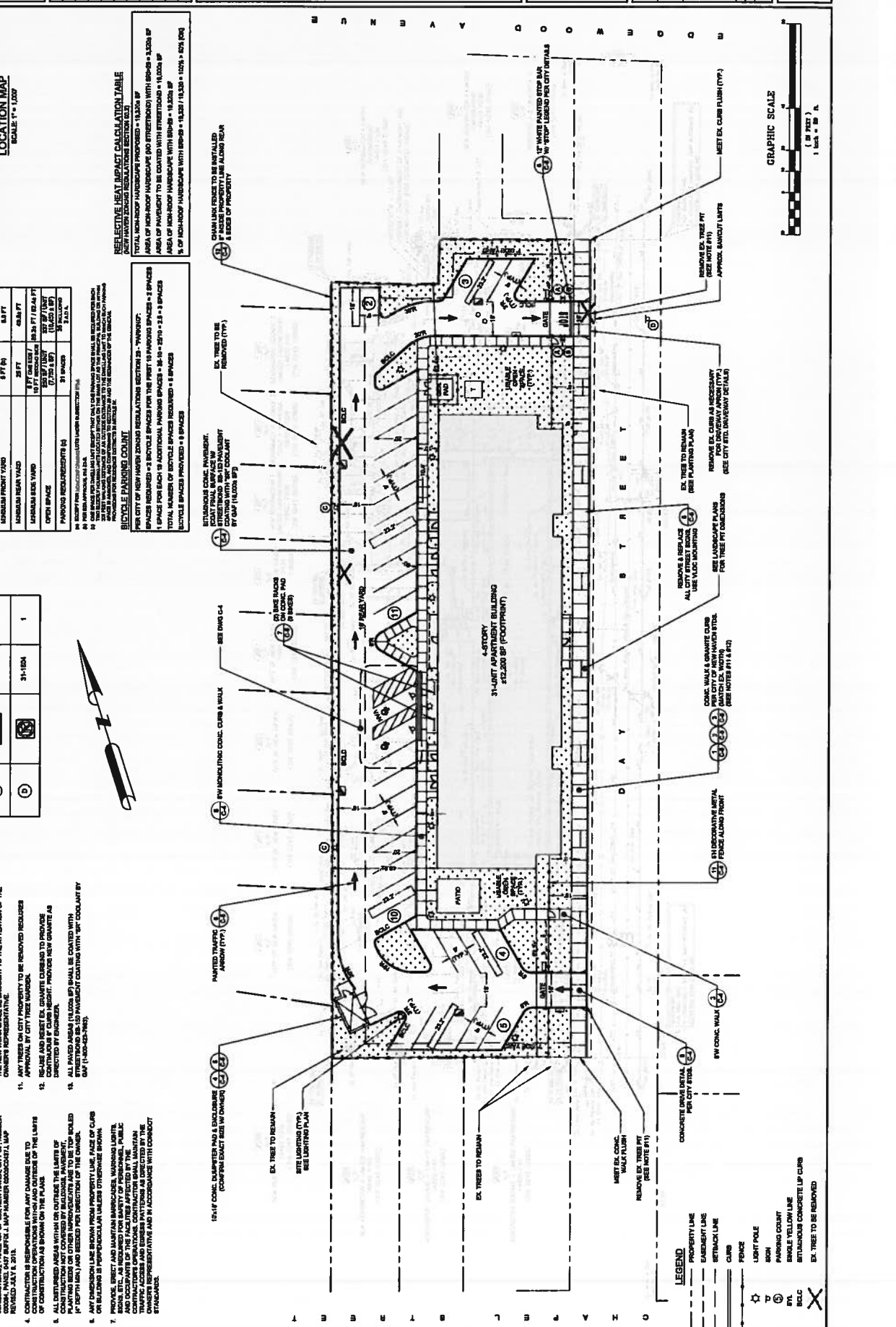
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BICYCLE SPACES PROVIDED = 8 SPACES

### SIGN TABLE

SYMBOL	QUANTITY
1	2
2	2
3	2
4	1

### GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW HAVEN ZONING ORDINANCE, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT NECESSARY FOR THE PROPER CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW HAVEN.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. ANY OBSTRUCTIONS TO ACCESS SHALL BE REMOVED IMMEDIATELY UPON REQUEST.
- THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND STRUCTURES EXISTING ON THE SITE. ANY DAMAGE TO UTILITIES OR STRUCTURES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES. ANY HAZARDOUS CONDITIONS SHALL BE REMOVED IMMEDIATELY UPON DISCOVERY.
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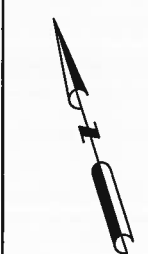
31-UNIT APARTMENT BUILDING  
21 SEPTEMBER 2018  
C-1

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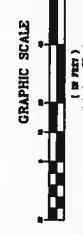
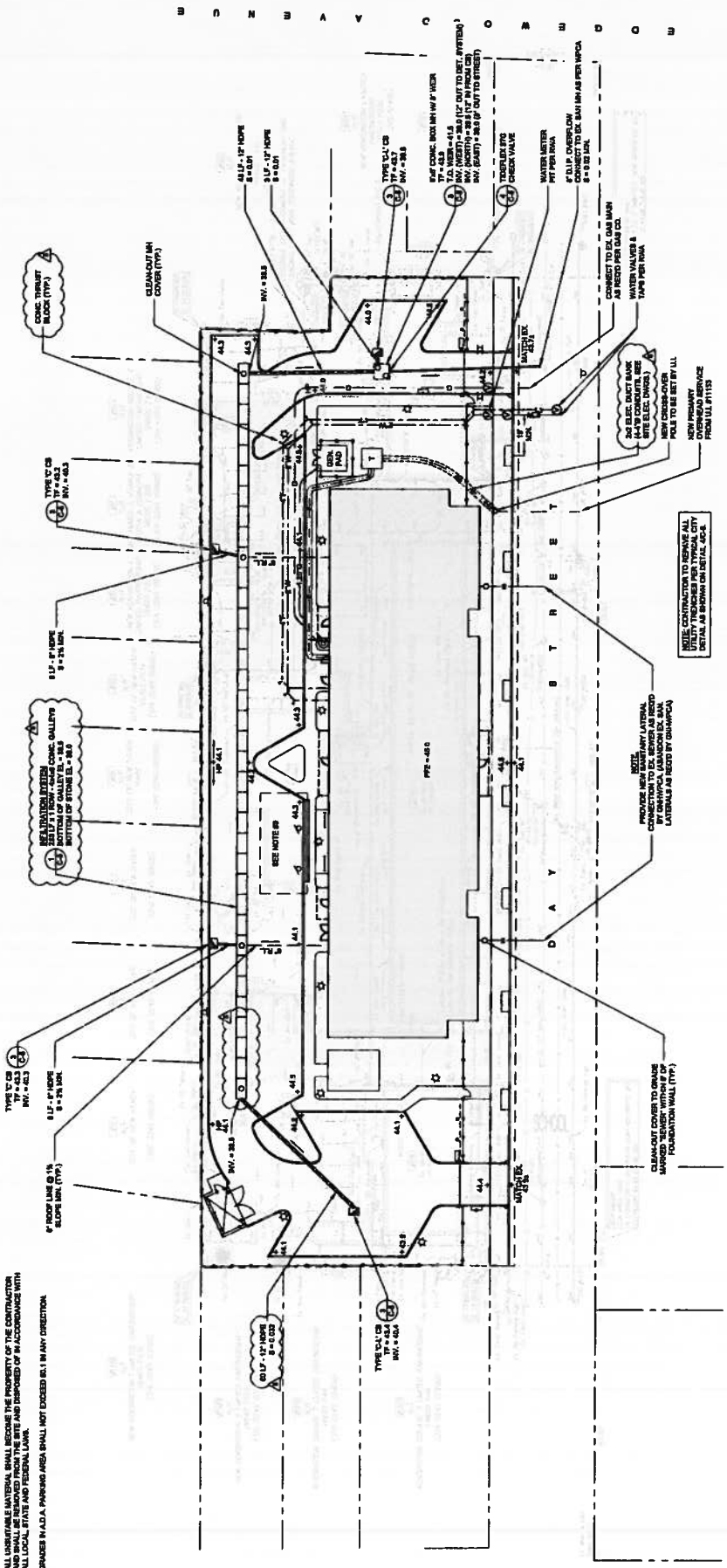


LEGEND AND ABBREVIATIONS

STORM DRAIN (ECL)	PROPERTY LINE
CATCH BASIN (PROP.)	ROOF LINE
DRYWELL BASIN (PROP.)	TOP OF WALL
CATCH BASIN (ECL)	TOP OF CURB
MANHOLE (ECL)	TOP OF FRAME
CONTOUR (ECL)	INVERT
SPOT ELEV. (ECL)	TOP OF CURB
CONTOUR (PROP.)	GRADE TO DRAIN
SPOT ELEV. (PROP.)	



- NOTES**
1. CONTRACTOR SHALL CONTACT "CALL-BEFORE-YOU-DIG" SERVICES AT 1-800-485-4848.
  2. CONTRACTOR SHALL CLEARLY MARK CLEARING LIMITS FOR OWNERS REVIEW PRIOR TO ANY EXCAVATION.
  3. CONTRACTOR SHALL MAINTAIN EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES.
  4. ALL UTILITIES SHALL BE MAINTAINED AND SHALL BE REPAIRED AS NECESSARY.
  5. ALL UTILITIES SHALL BE MAINTAINED AND SHALL BE REPAIRED AS NECESSARY.
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  7. ALL UTILITIES SHALL BE MAINTAINED AND SHALL BE REPAIRED AS NECESSARY.
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  9. ALL UTILITIES SHALL BE MAINTAINED AND SHALL BE REPAIRED AS NECESSARY.



**Cabezas DeAngelis**  
ENGINEERS & ARCHITECTS  
7235 5TH AVE. #200  
DENVER, CO 80231

31-UNIT APARTMENT BUILDING  
FOR PROPERTY LOCATED AT -  
206 DAY STREET  
NEW HAVEN, CT  
- PREPARED FOR -  
CARABETTA ORGANIZATION, LTD.  
200 PRATT STREET, MERIDEN, CT

**GRADING,  
DRAINAGE &  
UTILITY PLAN**

PROJ. NO.: 2018-21  
DATE: 21 SEPTEMBER 2018  
DWG. NO.: C-2

SHEET 3 OF 7  
SCALE: 1" = 20' 0"  
DESIGNED BY: CDA  
CHECKED BY: CDA  
DATE: 21 SEP 2018

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REVISIONS	DATE
1. CHAMP 12 APPLICATION	02/19/18
2. REV. SUBMISSION	03/19/18
3. CITY PLAN SUBMISSION	11/19/18
4. JOURNAL SUBMISSION	11/19/18
5. REV. PER ZONING/CITY	12/19/18
6. WPC COMMENTS	12/19/18
7. 100% CONSTRUCTION	12/19/18

**PROPOSED NEW 4-STORY  
31-UNIT APARTMENT BUILDING**  
- FOR PROPOSED LOCATED AT -  
206 DAY STREET  
NEW HAVEN, CT  
- PREPARED FOR -  
CARABETTA ORGANIZATION, LTD.  
200 PRATT STREET, NEWBED, CT

**SOIL EROSION  
& SEDIMENT  
CONTROL PLAN,  
DETAILS & NOTES**

PROJECT No.	2018-21
DATE	21 SEPTEMBER 2018
DRAWN No.	C-3
SHEET 3 OF 7	
DESIGNED BY	JOHN
CHECKED BY	JOHN
APPROVED BY	JOHN

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**SEDIMENT AND EROSION CONTROL NARRATIVE**  
THE NARRATIVE OF THE CONSTRUCTION OF A 4-STORY, 31-UNIT APARTMENT BUILDING AND RELATED SITE IMPROVEMENTS.  
IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL AND MAINTAIN THE SEDIMENT AND EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. THESE CONSTRUCTION MEASURES, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND REPAIR AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SEDIMENT AND EROSION CONTROL MEASURES.

**PROJECT DESCRIPTION**  
THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 4-STORY, 31-UNIT APARTMENT BUILDING AND RELATED SITE IMPROVEMENTS. THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 4-STORY, 31-UNIT APARTMENT BUILDING AND RELATED SITE IMPROVEMENTS. THE PROJECT CONSISTS OF THE CONSTRUCTION OF A 4-STORY, 31-UNIT APARTMENT BUILDING AND RELATED SITE IMPROVEMENTS.

**SEDIMENT AND EROSION CONTROL NOTES**  
1. THE CONTRACTOR SHALL ASSIGN A PERSON ON PERSONS AND SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SEDIMENT AND EROSION CONTROL MEASURES.

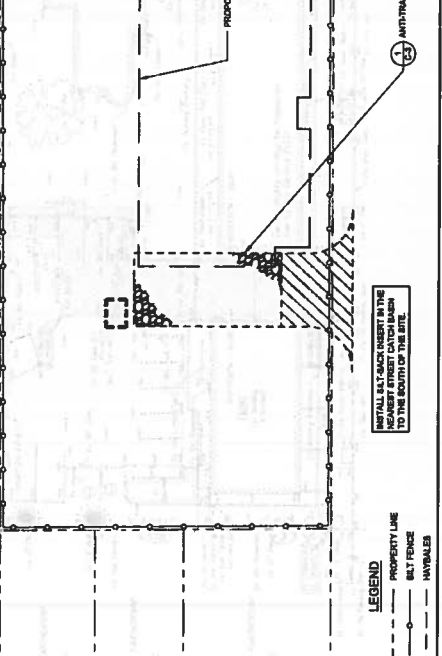
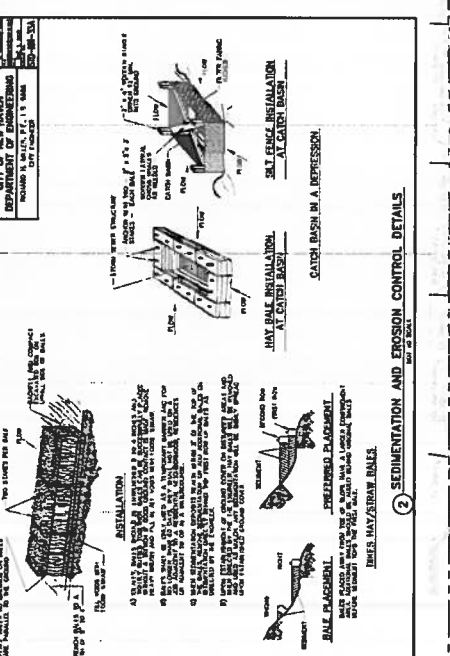
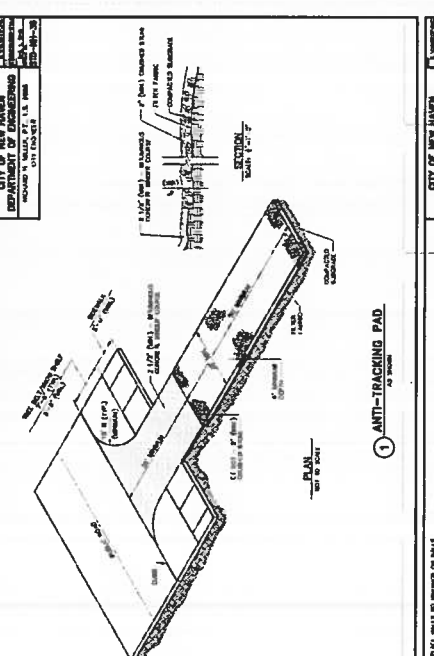
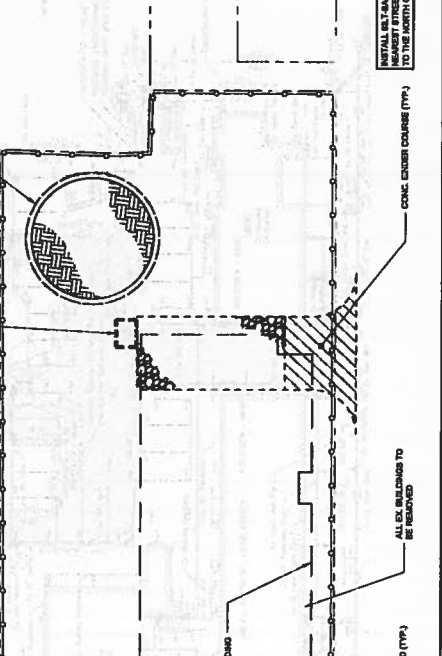
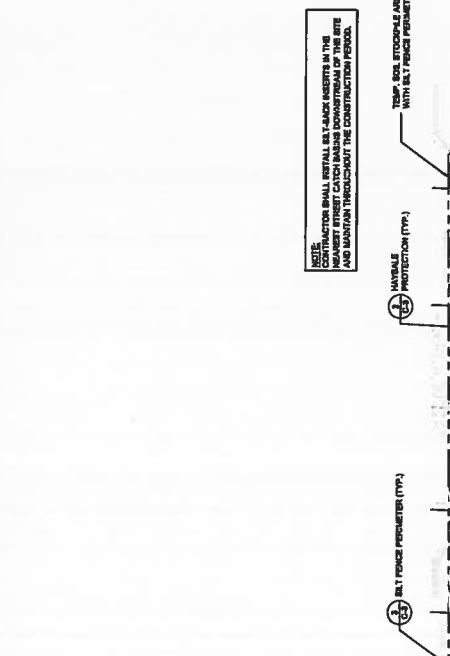
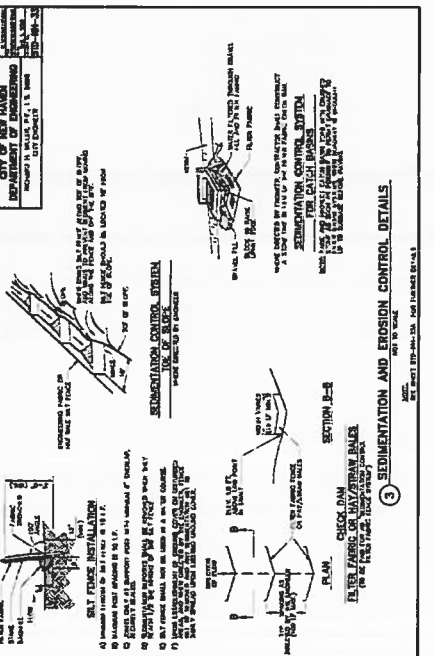
2. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE AND SHALL CONSIST OF ANTI-TRACKING MATS, SILT FENCES, SILT BARRIERS, AND OTHER MEASURES AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SEDIMENT AND EROSION CONTROL MEASURES.

3. THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL MEASURES IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SEDIMENT AND EROSION CONTROL MEASURES.

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**REQUIRED MATERIALS**

ITEM	QUANTITY	UNIT
1. SILT FENCE	1000	LINEAL FEET
2. SILT BARRIER	1000	LINEAL FEET
3. ANTI-TRACKING MAT	1000	SQ. YD.
4. SILT FENCE POST	1000	PIES
5. SILT FENCE CORNER	1000	PIES
6. SILT FENCE END	1000	PIES
7. SILT FENCE GATE	1000	PIES
8. SILT FENCE BRACE	1000	PIES
9. SILT FENCE TIE	1000	PIES
10. SILT FENCE RING	1000	PIES
11. SILT FENCE CAP	1000	PIES
12. SILT FENCE BASE	1000	PIES
13. SILT FENCE FLANGE	1000	PIES
14. SILT FENCE GASKET	1000	PIES
15. SILT FENCE BUSH	1000	PIES
16. SILT FENCE WASHER	1000	PIES
17. SILT FENCE NUT	1000	PIES
18. SILT FENCE BOLT	1000	PIES
19. SILT FENCE SCREW	1000	PIES
20. SILT FENCE NAIL	1000	PIES
21. SILT FENCE STAPLE	1000	PIES
22. SILT FENCE STRINGER	1000	PIES
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99. SILT FENCE FLOOR	1000	PIES
100. SILT FENCE CEILING	1000	PIES

**GRAPHIC SCALE**  
1" = 50' H.  
1" = 100' V.

**CONSTRUCTION SEQUENCE**  
1. INSTALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES.  
2. INSTALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES.  
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NO.	DESC.	DATE
1	CHAMP 18 APPLICATION	8/25/18
2	NOA SUBMISSION	8/25/18
3	CITY PLAN REVISIONS	11/1/18
4	CONTRACT REVISIONS	11/28/18
5	REVISED CONSTRUCTION	12/18/18
6	100% CONSTRUCTION	12/18/18
7	100% CONSTRUCTION	12/18/18

**PROPOSED NEW 4-STORY  
31-UNIT APARTMENT BUILDING**  
- FOR PROPERTY LOCATED AT -  
206 DAY STREET  
NEW HAVEN, CT  
- PREPARED FOR -  
CARABETTA ORGANIZATION, LTD.  
200 PRATT STREET, MERIDEN, CT

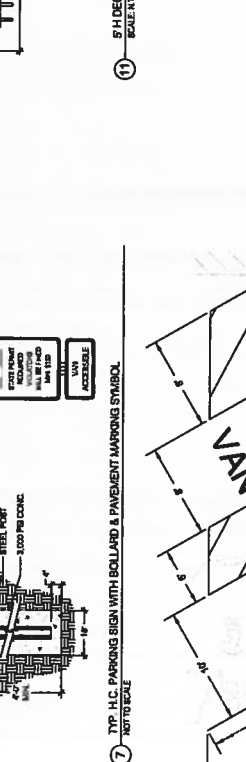
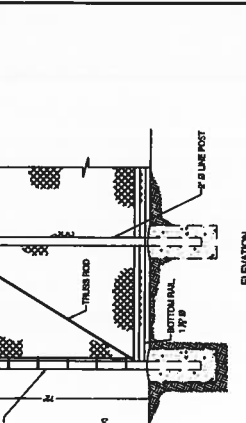
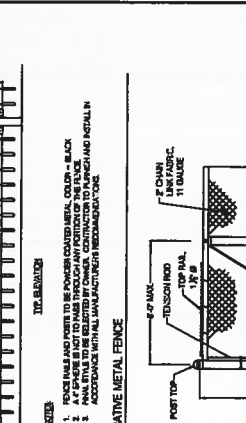
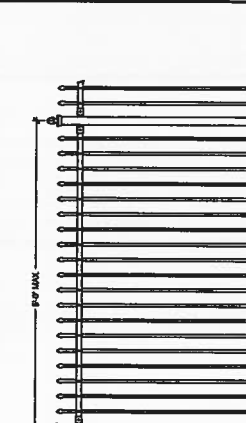
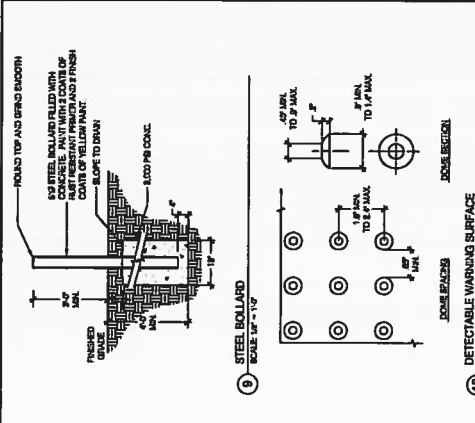
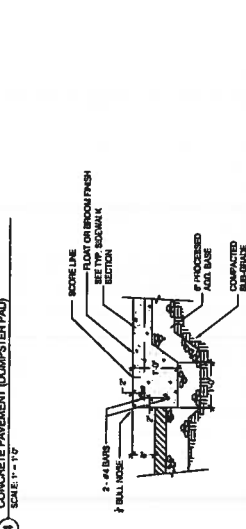
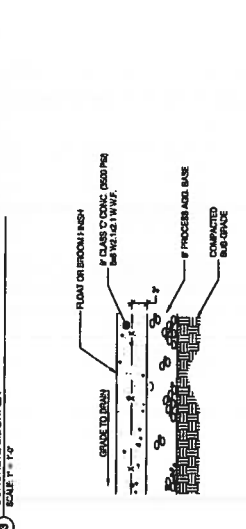
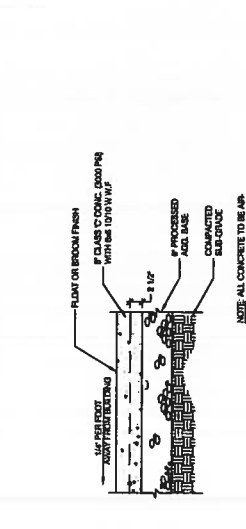
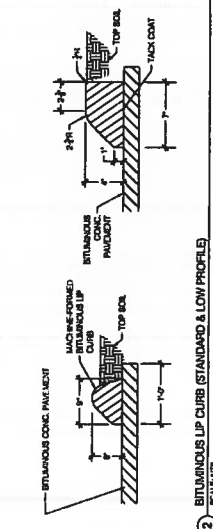
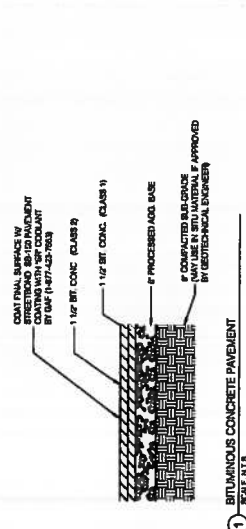
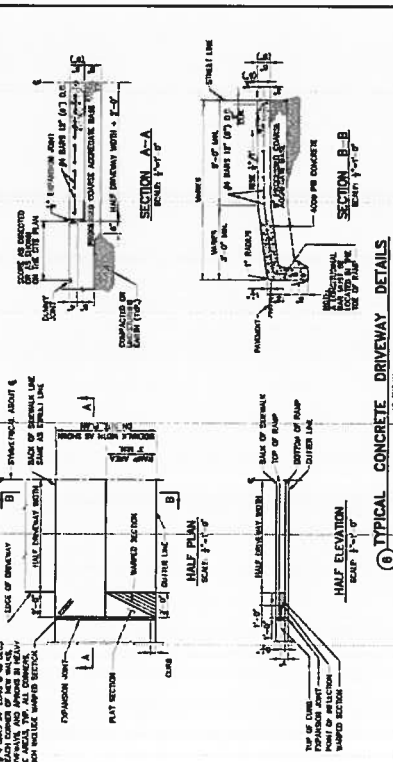
**TYPICAL SITE  
DETAILS**

SHEET NO.: 2018-21  
DATE: 21 SEPTEMBER 2018  
DWG. NO.: C-4

SHEET 4 OF 7	DESIGNED BY: JAD	CHECKED BY: JAD
SCALE: AS NOTED	DRAWN BY: JAD	CAD: JAD

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**CITY OF NEW HAVEN  
DEPARTMENT OF ENGINEERING**  
REVIEWED BY: JAD, P.E., 11.1.2018  
DATE: 11.1.2018









CHRISTIAN A. DANGLE, P.E.

NO.	DESC.	DATE
1	CHAMP 15 APPLICATION	8/20/18
2	SEA SUBMISSION	8/20/18
3	CITY PLAN SUBMISSION	10/12/18
4	REVISIONS	10/26/18
5	REV. PER DISCUSSION	10/26/18
6	WPA COMMENTS	10/26/18
7	100% CONSENT DOCS	10/26/18

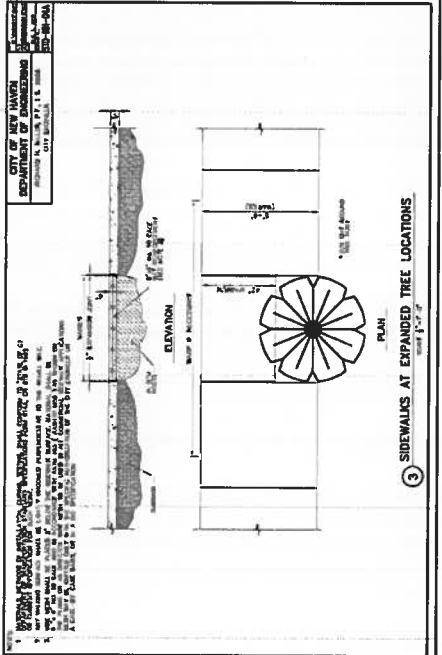
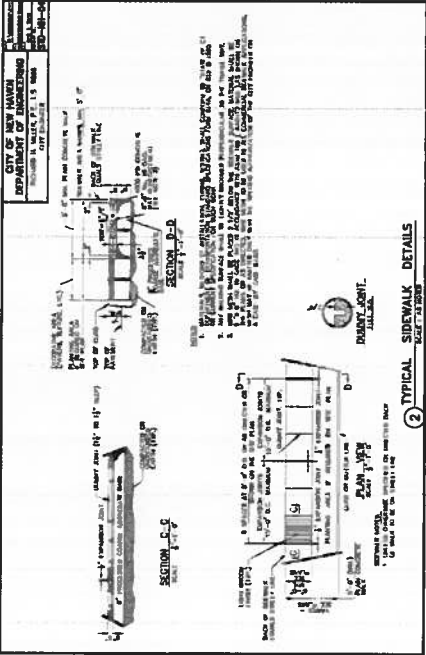
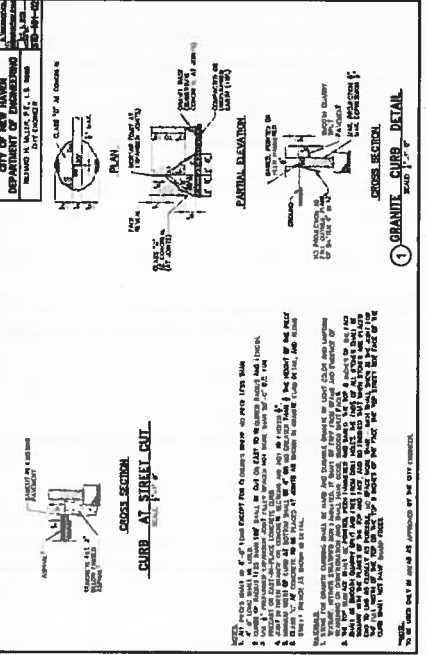
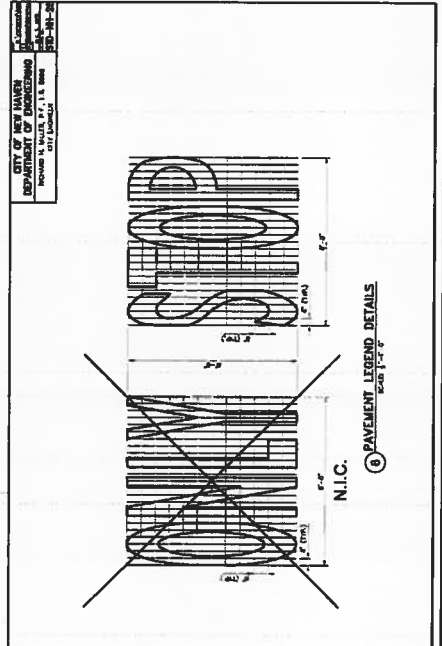
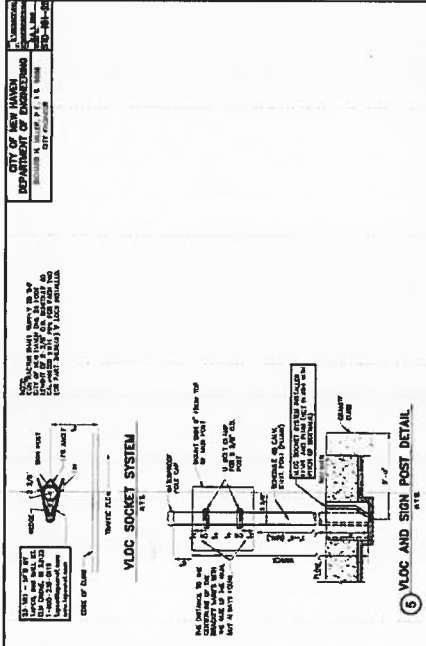
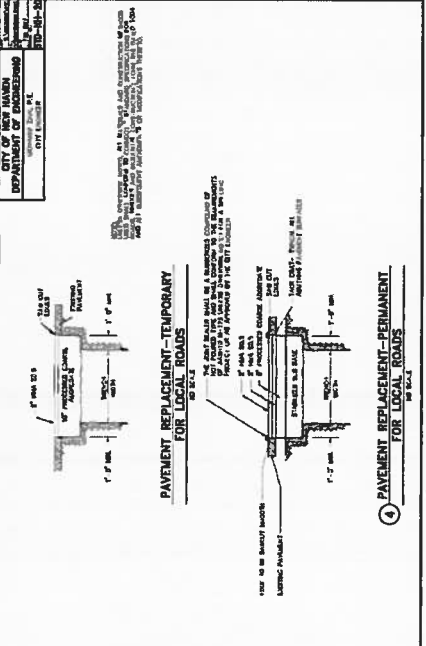
**PROPOSED NEW 4-STORY  
31-UNIT APARTMENT BUILDING**  
- FOR PROPERTY LOCATED AT -  
206 DAY STREET  
NEW HAVEN, CT  
- PREPARED FOR -  
CARABETTA ORGANIZATION, LTD.  
200 PRATT STREET, MERIDEN, CT

SHEET TITLE:  
**TYPICAL CITY  
DETAILS**

PROJ. NO.: 2018-21  
DATE: 21 SEPTEMBER 2018  
DWG. NO.: C-6

SHEET 8 OF 7  
SCALE: AS NOTED  
DESIGNER: JMM  
CHECKER: JMM  
CDD

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**SPECIAL NOTES**

1. Project all notes to remain.
2. Owner may not accurately reflect existing site conditions. It is the responsibility of the Contractor to visit the site and familiarize themselves with site conditions.
3. The Contractor is responsible for any damage due to construction operations within and OUTSIDE the limits of construction as shown on the plans.
4. The Contractor shall restore any disturbed area back to construction its original condition, at his additional expense to his Owner.
5. Underside of driveway and below on foundation wall are not shown. All underground utilities shall be located by the contractor if their locations are unknown. The existence, size and location of all such features must be determined and verified in the field by appropriate authorities prior to construction. Contact (800) Before You Dig at 1-800-627-4455 or call your local utility company.
6. The Contractor shall protect and verify subsurface utilities prior to the start of work. Any field conditions that differ from the plan shall be brought to the attention of the landscape architect and owner immediately.
7. The Contractor shall be responsible to remove from damaged areas. Activity sites damaged during construction operations shall be repaired or replaced as directed by the valley owner at no additional cost to the contractor.
8. Provide, erect, and maintain barricades, warning lights, signs, etc., as required for safety of personnel, public and occupants of the facilities affected by the contractor's operation. Construction equipment shall be clearly marked with reflective orange paint and reflective tape.
9. All materials and methods of construction shall conform to CONN DOT Form #18, latest edition, as amended, unless other shown on the drawings or specifications herein.
10. All debris shall be removed from site, and it shall become the property of the contractor and shall be removed from the site, and disposed of in accordance with all local, state, and federal laws.
11. Limits of tree clearing for installation of utilities will include review and approval by the owner to ensure adequate clearance of new utilities. The contractor shall stop utility placement if there is objection to the proposed utility placement.
12. The contractor shall carefully monitor existing curbs and pavements prior to removal. All existing curbing, pavements and other structures that interfere with the new work shall be removed and replaced with new material.
13. Photometric plans to be taken and supplied by Lighting Manufacturer's Representative. Contractor shall submit catalog along, along with photometric plan for review and approval by the Landscape Architect.
14. Shop drawings for lighting shall include review of Light Measures to prevent light intrusion into residential units.

**Tree Protection and Removal Notes**

- The contractor shall review existing tree retention with the landscape architect prior to the start of construction. Removal of existing trees noted to remain shall occur only if approved by the landscape architect.
- In the event of existing utility lines that indicate removal and approval by the owner to remove appropriate clearance of any new utilities. The contractor shall install utility locations and limits of excavation, and will be liable there to be removed as per the trees contract prior to commencing work on any work.
- Contractor shall provide tree protection for all existing trees to remain to the city of Irvine (Irvine) unless otherwise directed by landscape architect. Tree protection shall be of minimum 10' diameter and 10' high.
- Contractor shall provide tree protection for all existing trees to remain within property. All pruning and fertilizing of trees shall be performed by licensed arborist and certified by the International Society of Arboriculture. Pruning includes removal of dead wood, decayed limbs without impacting structural integrity of tree, and for improved visual appearance of tree. Fertilizing shall be conducted with drip feed system.
- The contractor shall not stockpile materials, store construction equipment, nor have regular access within the dripsheds of remaining trees.

**SOIL DECOMPACTION NOTES**

1. The contractor shall decompose all soils within landscape areas to a minimum depth of 24 inches. Decomposition shall be done in a manner without disturbing existing tree roots, or within the drip-line of existing trees.

2. Whether or not soils, the contractor may utilize rock rippers, subsoilers, and "winged" subsoilers, plows, spades, and attachments to excavators. Methods will be reviewed and approved by the City Engineer.

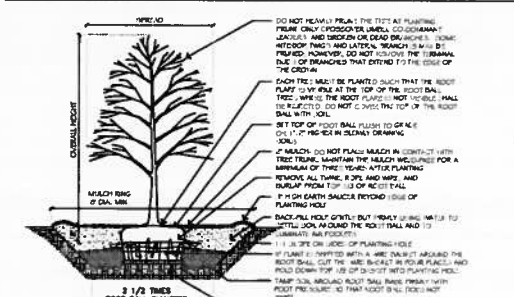
3. Soils should not be too moist during ripping, causing too little soil shatter. Subsoiling when soils are extremely dry can bring up large blocks of soil, especially when the soils are high in clay (cohesive soils). Soil can be broken down to finished grade.

**PLANTING NOTES:**

- If a discrepancy exists between plant quantities as shown on the drawing and in the plant list, the contractor shall be responsible for supplying and installing the quantity in the Plant List.
- Decompost soils impacted by construction operations in all landscape areas a minimum 24" below grade. Decompost soil prior to placing plantings.
- The Contractor shall install 3" mulch in all landscape beds following installation of plantings. The Contractor shall follow the following planting sequence to remove invasive plants. Twelve months after completion, the Contractor shall return to replace the mulch beds. The Contractor shall remove plant material (leaves) with the Owner at the time of Topdressing.
- During the first 12 months after installation is accepted, the Contractor shall return a minimum of four (4) trees to remove invasive plants.
- Seed Specifications for Plant Material requirements and seed requirements.
- All seed types (landscaping seeds not to include turf) to be seeded with granular lawn seed.
- Turf Seed shall be "Supreme III" available from Planters Choice, Newtown, CT. Grass seeded area to remove stones in zones of 1". Seed mixed seeds with shredded hay for moisture retention. Apply establishment fertilizer based on soil testing from State Certified soil testing laboratory.
- The seed requires protection of the landscape area, by removing large rocks, and placing a minimum of 8" loosely banded straw.
- All seed types (landscaping seeds not to include turf) to be seeded with granular lawn seed. Seed types to include: ASTRON D228-02, pH range of 5.5 to 7.0, no less than 3% and no more than 5% (percent) organic matter/minimum, free of stones 1/8" (2mm) or larger in any dimension and 87% - 100% by weight 3/6" mulch area, and no other fill material. The Contractor shall place granular seed in the landscape area. Turf seed shall be "Supreme III" available from Planters Choice, Newtown, CT. Grass seeded area to remove stones in zones of 1". Seed mixed seeds with shredded hay for moisture retention. Apply establishment fertilizer based on soil testing from State Certified soil testing laboratory.
- All trees shall be tagged by the Landscape Architect (LA) at the place of growth, or if a Nursery approved by the LA. Material is subject to rejection prior to planting. The Contractor shall not break plant material without approval of the Landscape Architect.

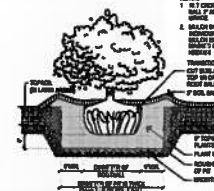
Symbol	General name	General name	Unit	Size	Notes
CP	Control System Executive Computer	Real Parameter Computer	Real Parameter Computer	2.1 x 2.1 CAL	8AB
GS	Control System	Modular System	Modular System	2.1 x 2.1 CAL	8AB
BT	Control System Executive Computer	Real Parameter Computer	Real Parameter Computer	2.1 x 2.1 CAL	8AB
D	Control System Executive Computer	Real Parameter Computer	Real Parameter Computer	2.1 x 2.1 CAL	8AB
LA	Control System Executive Computer	Real Parameter Computer	Real Parameter Computer	2.1 x 2.1 CAL	8AB

8'	2A	Rhus copallina Gro-Low	Low Gro- Sumac	#3 Cont.	48 OC
2'	5B	S. reba-jerba da tron F. bay	Neen F. wh Spun	#2 Cont.	

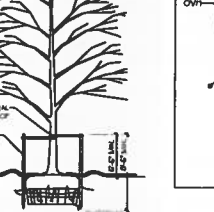
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**TREE PLANTING** NOTES

NOTE: THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 8" SQUARE, OPEN TO THE SOIL, AND NOT COVERED BY ANY FINISH OR RAILING.

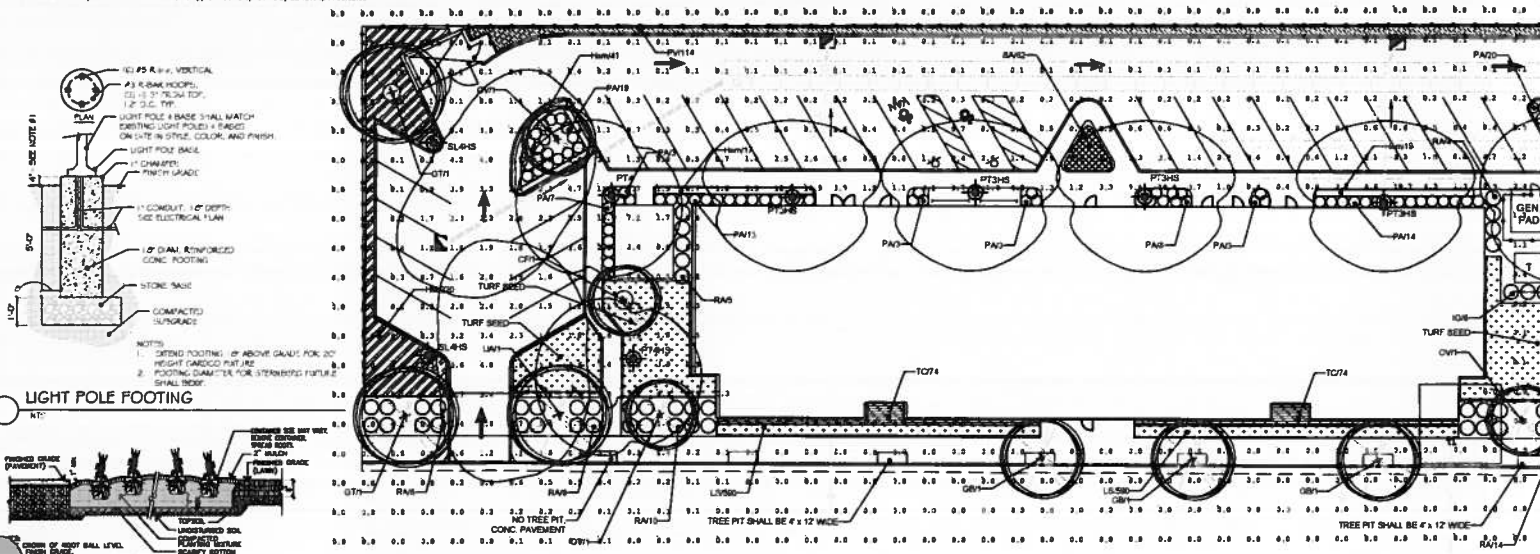


LEG



STREET SHALL BE 14 FT. WIDENING OPEN TO ALL TRAFFIC  
THAT IN SURFIFY AND LOCATE TO THE NORTH IN THE FIELD  
ALL FILLED WITH 10" STONE DUST, FLUSH WITH THE ADJACENT  
STREETS. (SEE ATTACHED DRAWING)  
FOR THE 14' ALONG STREET ONLY  
NOTED BY THE CONTRACTOR AFTER ONE FULL DAY OF WORKING. READY

NG \_\_\_\_\_



CONTINUOUS PLANTING BED


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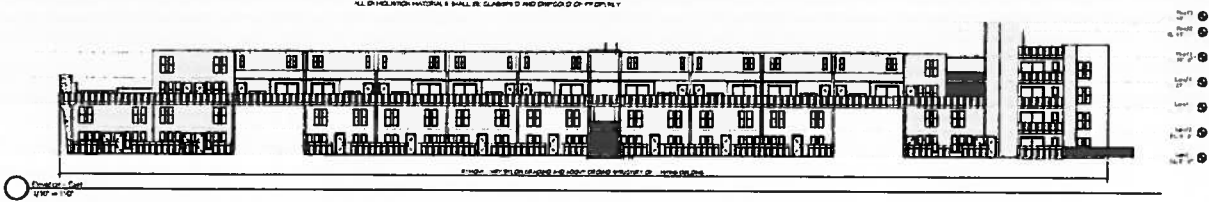
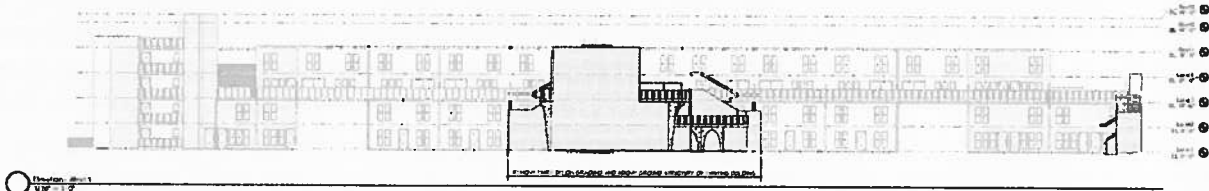
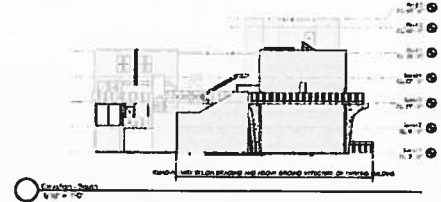
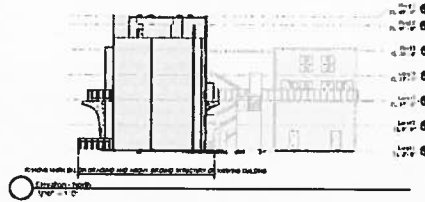
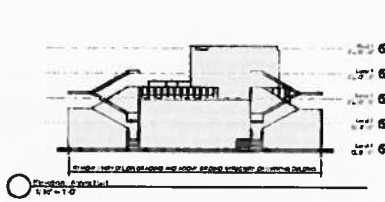
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[illegible][illegible]

D-100	DEMOLITION NOTES	DATE ISSUED:		SCALE:
		REVISION		
206 DAY STREET NEW HAVEN, CT		ANTILLEAN MANOR		
		Scheller Shuman Associates, P.A. Architects Planning Engineers 500 North Main Street, Suite 100 New Haven, CT 06510 Phone: (203) 539-1000		

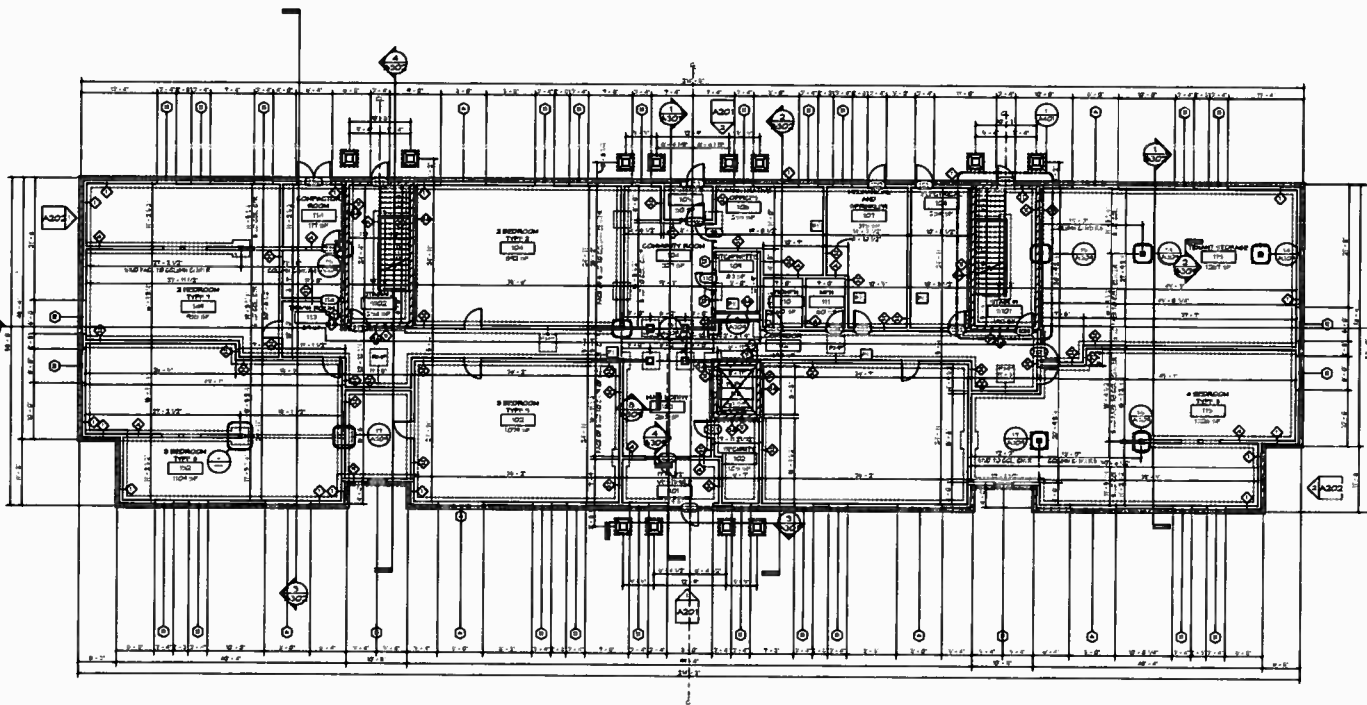






1 EXISTING BUILDING ELEVATIONS  
 1/8\"/>





100 1ST FLOOR PERIMETER DIMENSIONS  
1/27/17

DATE

Schaeffer Schmitt Associates, P.C.

ANTILLEAN MANOR  
206 DAY STREET  
NEW HAVEN, CT

REVISION  
1 2 3

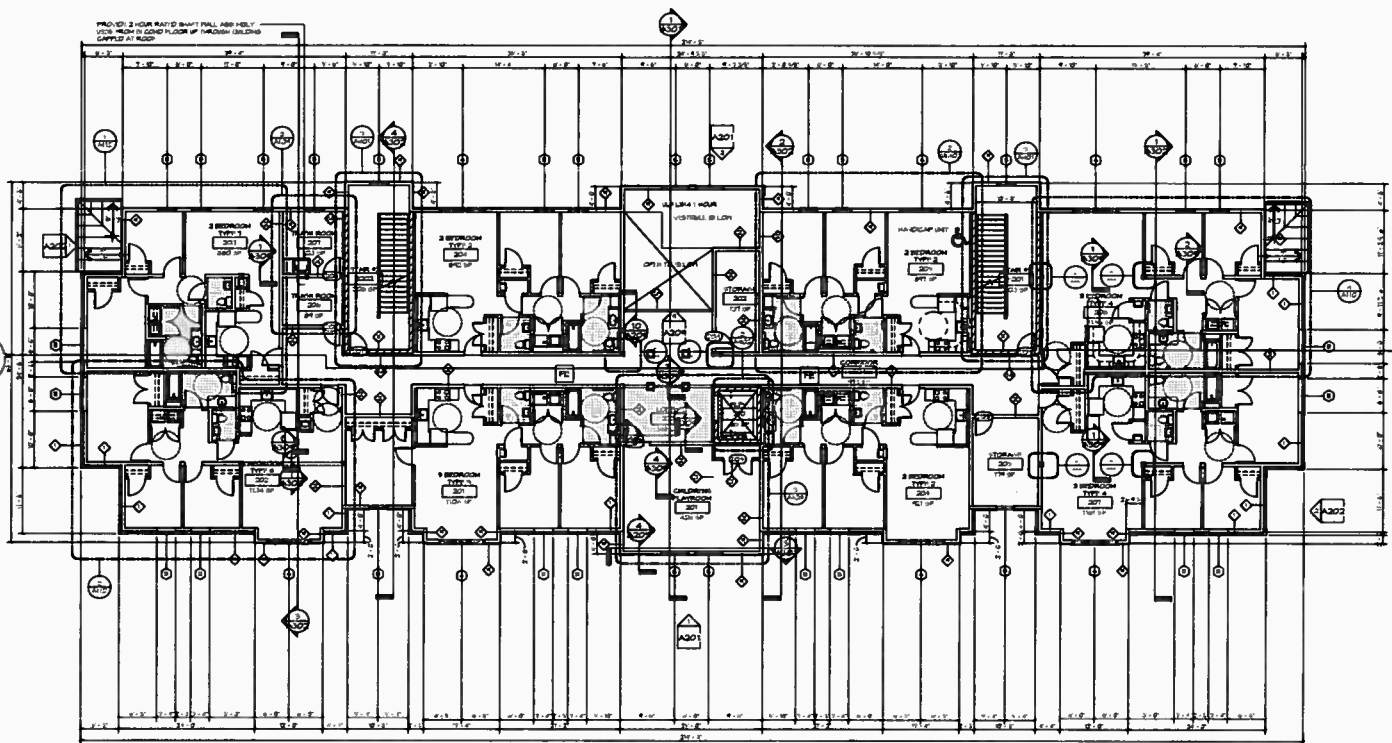
DECEMBER 8, 2016

SCALE

1ST FLOOR  
PERIMETER  
DIMENSIONS  
DATE ISSUED

A101a





SECOND FLOOR PLAN  
1/10' = 1'-0"

DATE: 10/10/10  
Schiller Shuman Associates, P.C.

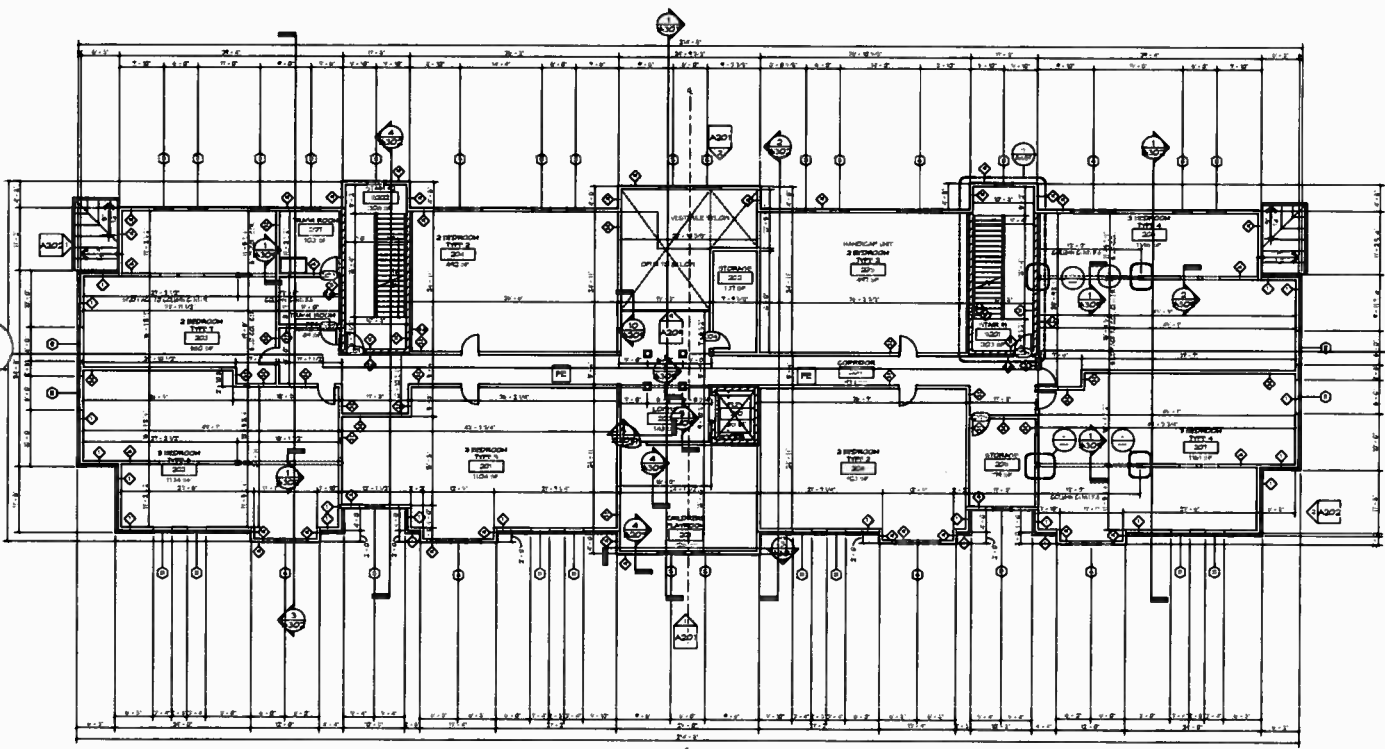
ANTILLEAN HANDBUILD  
300 DAY STREET  
NEW HAVEN, CT

REVISION  
1-10-10

DECEMBER 1, 2010

2ND FLOOR PLAN  
DATE ISSUED: SCALE:

A102



SECOND FLOOR PERIMETER DIMENSIONS  
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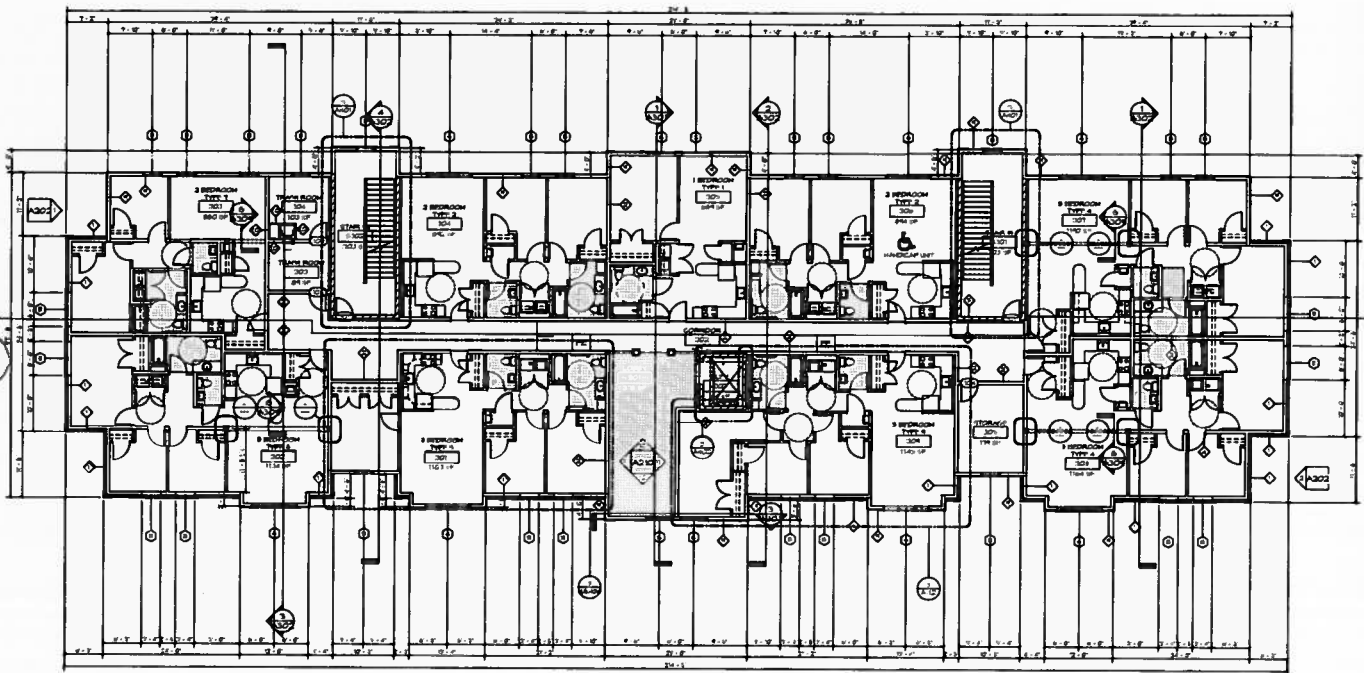
Schaller Schmitt Associates, P.C.



ANTILLEAN MANOR  
206 DAY STREET  
NEW HAVEN, CT

2ND FLOOR  
PERIMETER  
DIMENSIONS

A102a



THIRD FLOOR  
US 11-0

Scheller Schmitt Associates, P.C.  
Architects  
200 DAY STREET  
NEW HAVEN, CT 06510-3117  
(203) 799-1177  
Fax: (203) 799-1178



ANTILLEAN MANOR  
200 DAY STREET  
NEW HAVEN, CT

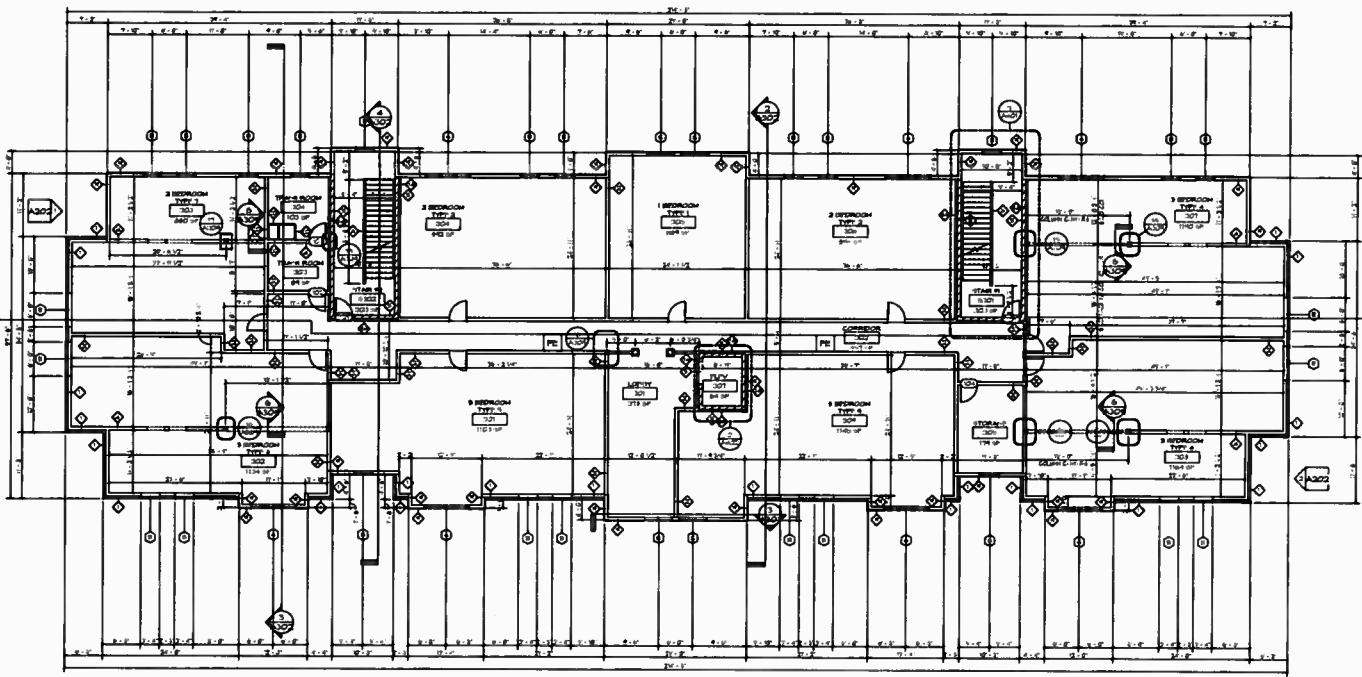
REVISION  
NO. 2 OF 1

DATE: 10/1/00

3RD FLOOR PLAN  
DATE: 10/1/00  
SCALE: 1/8" = 1'-0"

A103

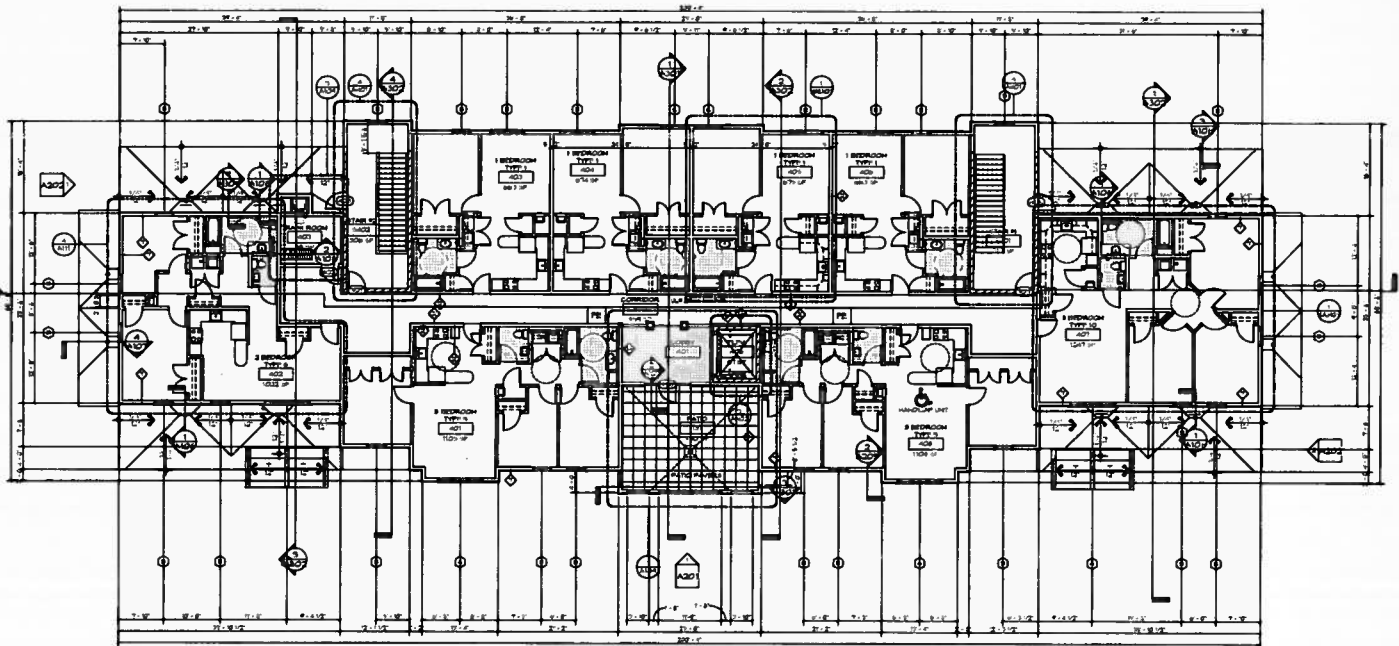
3RD FLOOR PERIMETER DIMENSIONS  
1/8" = 1'-0"



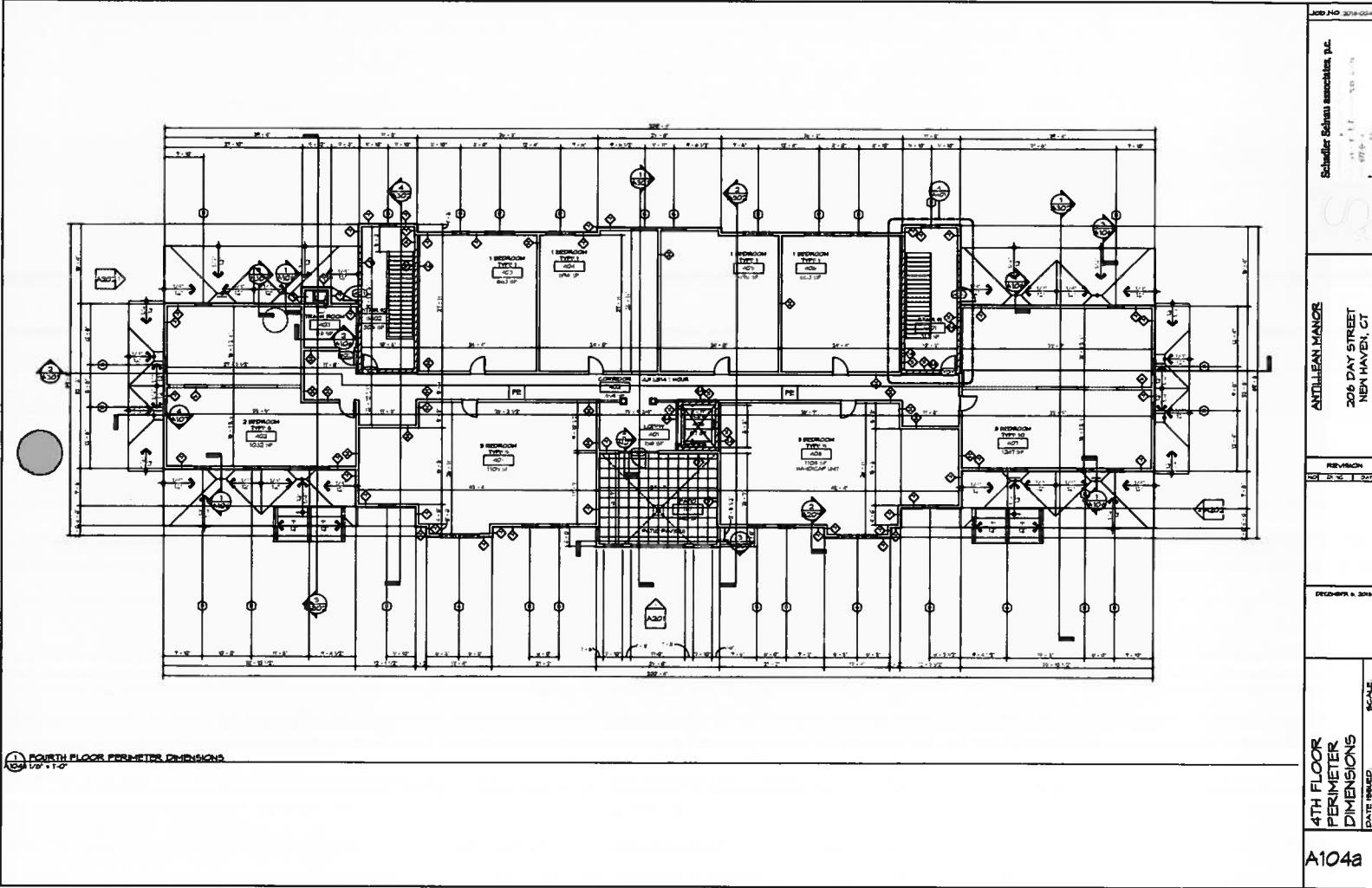
ANTILLEAN MANOR  
306 DAY STREET  
NEW HAVEN, CT

REVISION  
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000

DATE ISSUED



FOURTH FLOOR  
UP 11'-0"



JOB NO. 2016-004

Schiller Schuler Associates, P.C.

ANTHILLMAN MANOR

2016 DAY STREET

NEW HAVEN, CT

REVISION

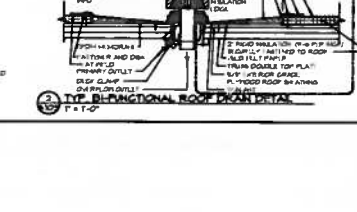
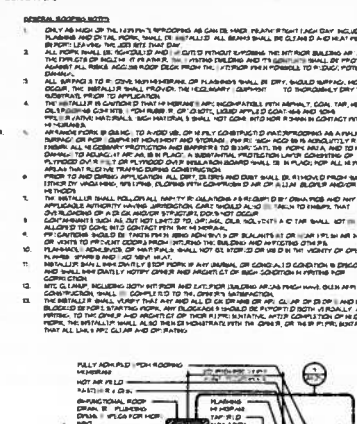
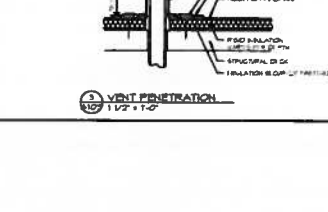
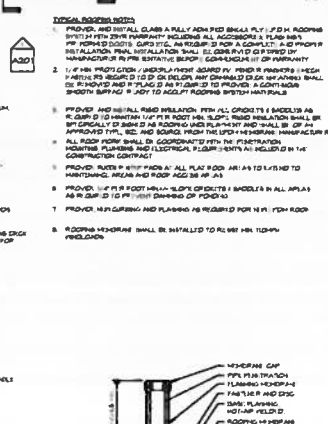
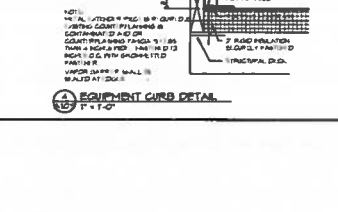
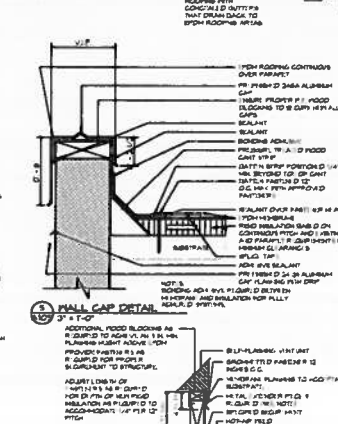
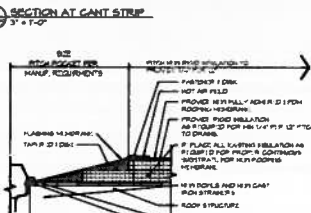
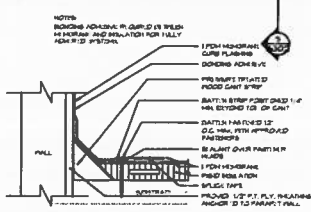
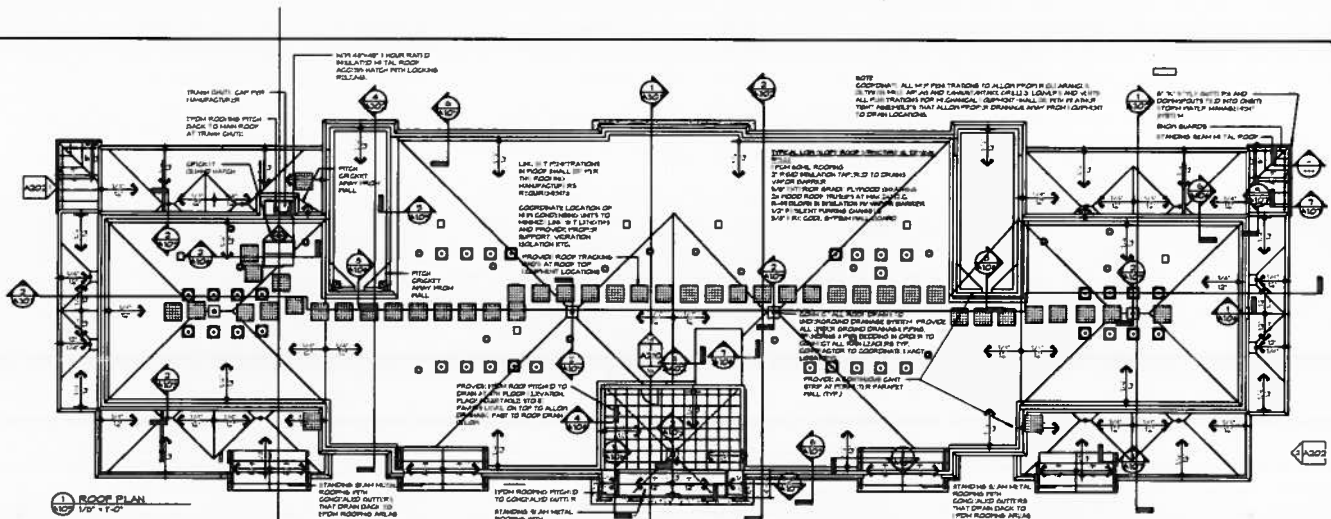
NO. 2016-004

DESIGNED BY: 1/2/17

SCALE

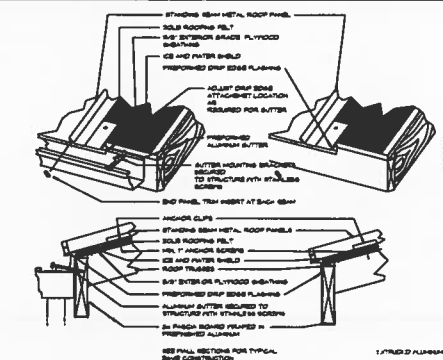
DATE ISSUED: 1/2/17

A104a

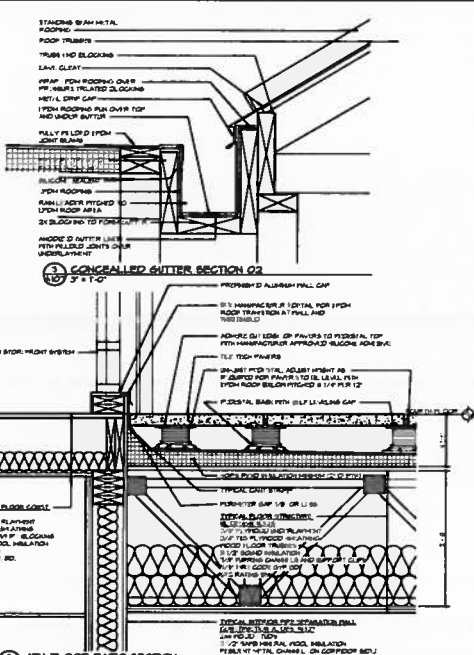




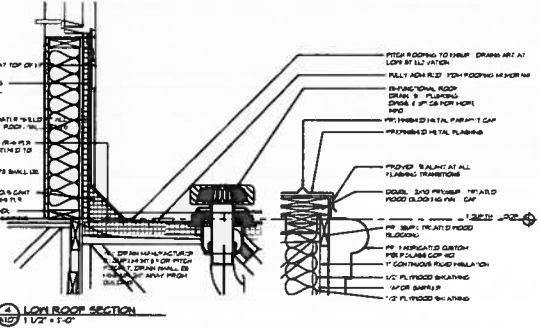




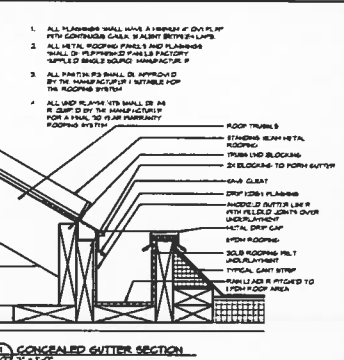
1 METAL ROOF - EAVE DETAIL  
1/2" = 1'-0"



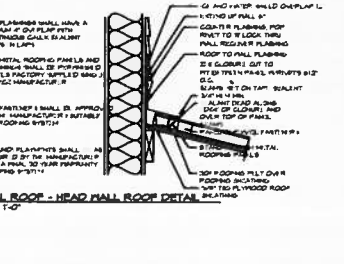
2 CONCEALED GUTTER SECTION  
1/2" = 1'-0"



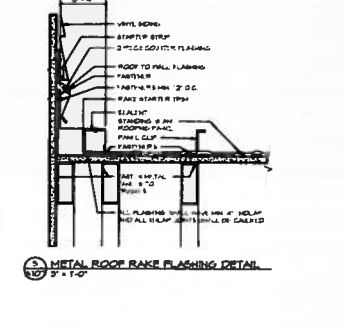
3 4TH FLOOR PATIO SECTION  
1/2" = 1'-0"



4 CONCEALED GUTTER SECTION  
1/2" = 1'-0"



5 METAL ROOF - HEAD WALL ROOF DETAIL  
1/2" = 1'-0"



6 METAL ROOF RAKE FLASHING DETAIL  
1/2" = 1'-0"

1000-100-200-000

Schaeffer Schaeffer Associates, Inc.

ANTILLEAN HANDS

206 DAY STREET  
NEW HAVEN, CT

REVISION

NO. 1 2 3 4 5 6

DATE ISSUED

SCALE:

ROOF DETAILS

A107



BOARD OF ZONING  
APPEALS  
ROOM 501  
HALL OF RECORDS  
200 Orange Street  
New Haven, Connecticut  
06510

CITY OF NEW HAVEN  
New Haven, Connecticut  
[www.cityofnewhaven.com](http://www.cityofnewhaven.com)



Toni N. Harp  
Mayor

**Certified Return Receipt # 7018 0680 0000 7673 8041**

November 15, 2018

James H. Segaloff  
59 Elm Street, 5<sup>th</sup> floor  
New Haven, CT 06510

RE: 206 Day Street  
Appeal: 18-63-S  
Owner: Antillean Manor Co-Op Inc.

Dear Mr. Segaloff:

Your appeal seeking a special exception to permit a 31-unit residential Planned Development Unit in an RM-2 District was considered by the Board of Zoning Appeals on November 13, 2018. The appeal was considered to be in accordance with Section 63 of the New Haven Zoning Ordinance. Permission is hereby granted.

Permission granted by the Board will become null and void one year after the effective date of this decision, unless:

1. The grant of relief has been recorded on the Land Records of the City of New Haven within 120-days of the date of publication of approval; and,
2. A valid permit has been issued and construction diligently pursued; or
3. A Certificate of Occupancy has been issued; or
4. The appeal is renewed.

The effective date is considered the date of publication of the decision in a newspaper having substantial circulation in the municipality. Publication is scheduled for November 16, 2018. An appeal by any person aggrieved by the decision must be taken to **Superior Court Judicial District of New Haven** within fifteen (15) days after the date of publication.

206 Day Street  
Appeal: 18-63-S  
Page 2 of 2

A copy of the Board's decision is required to be recorded on the Land Records at your expense. Enclosed are two copies of this decision letter, one to be recorded on the Land Records in the Office of City-Town Clerk (2nd floor, 200 Orange Street), and one to be returned to this office showing proof of recording.

An application for renewal must be made in writing not less than 30 days and not more than 60 days prior to the lapse of the original approval. Only one extension of the original approval, for a period of not more than one year, may be granted.

Please be advised that the request granted is to be exercised in strict accordance with the relief sought and the plans submitted in support thereof. Any deviation from this approval required additional approval from the Board. A permit from the City of New Haven Building Department, at 200 Orange Street, Room 502, is required before commencing any work. **Please bring a copy of this decision letter showing the volume, page number, and when it was recorded on the Land Records with you when applying for a building permit. No Building permit can be issued without proof of zoning and recording.**

Sincerely yours,

BOARD OF ZONING APPEALS

*Mildred Melendez*

Mildred Melendez, Secretary



**Proposed Employment Plan  
Antillean Manor  
206 Day Street, New Haven, CT**

Antillean Estates is committed to using its best efforts to achieve and/or exceed the City of New Haven's Commission on Equal Opportunities Goals and intends to hire 25% minority owned contractors and 6.9% women-owned businesses. In addition, we will require the same goals of the subcontractors that we engage.

This plan identifies the project's goals and SRC Construction Services marketing strategies to achieve these goals. Our goals will be measured by the number of minorities, women and low-income persons that are contracted and/or employed as a result of the construction of Antillean Manor. The goals also seek to stimulate the local economy by using New Haven based firms.

Our efforts will include the following:

- Identify and outreach to MBE and WBE enterprises located in New Haven for potential subcontracting opportunities documenting our efforts.
- Create a bid environment that facilitates and encourages participation by City of New Haven area firms and creates opportunities to secure contracts.
- Initiate subcontractor awareness program to facilitate the use of City of New Haven-area businesses, minority or women owned businesses, Section 3 businesses and local hiring (including socially disadvantaged groups and other minorities, women and low-income individuals).
- Advertise contracting opportunities in the local news and business publications, including the Spanish language publication "La Voz."
- Contact the Greater New Haven Business and Professional Association (GNHBPA) about the project and W/MBE and Local Hiring goals.
- Encourage the formation of joint ventures between and among local and other M/WBE and/or Local firms and between such firms and non- socially disadvantaged, M/WBE and/or Local firms.
- Clearly identify trades and subcontracting opportunities (type of work) being made available in advertisements and communications.
- Make drawings and specifications available in a timely manner following outreach initiatives and prior to deadline for subcontracting responses.

One of the key goals of this plan is to create a bid environment which aligns with the capabilities of MBE, WBE and Local firms in the City of New Haven environment. The Contractor will implement the following purchasing and bidding practices:

- Examine each subcontracting bid opportunity and develop appropriate bid package scopes of work to enable local participation and other M/WBE participation and Local business participation.
- Seek to create subcontracting opportunities for firms which reflect the racial/ethnic diversity of the City of New Haven community.
- Seek to create opportunities for local participation and other M/WBE participation and Local business participation in the subcontracts providing highly skilled, as well as less skilled, trades.
- Include requirements for M/WBE and Local hiring plan for second tier subcontracting and purchasing in all bids packaged.
- Consider all proposals received from M/WBE and Local firms responding to the various outreach efforts. Report on proposals received pursuant to the Construction Contract.
- Create opportunities to meet with M/WBE and Local firms in order to provide assistance in reviewing plans, specifications, insurance, scheduling, quality assurance, safety, accounting and reporting requirements and other elements of the proposed work.
- Periodically (at least quarterly) evaluate the success rate of M/WBE and Local firms in getting bid awards in order to identify patterns or items which might be addressed to increase socially disadvantaged and other M/WBE and Local firm participation.

Comply with any outreach and good faith efforts requirements of the City of New Haven.

**Supervision of Selected Subcontractors** Many of the firms involved in the construction process may lack exposure to some of the requirements and goals of a project such as this, where the construction program seeks to implement policy goals as well as build a high-quality structure. Contractor will implement the following steps with respect to subcontractors who have been awarded a portion of the work:

- Initiate subcontractor awareness program to encourage the use, through second tier contracting, of minority or women owned business, local area businesses and to encourage and facilitate local hiring (including socially disadvantaged groups and other minorities, women and low-income individuals).

- Upon request, meet with subcontractors to review and provide assistance regarding project control requirements, job scheduling, job management and financial controls, reporting and submission requirements.
- Monitor achievement of subcontracting firms to identify problems early, creating opportunities for technical assistance to overcome challenges.
- Encourage M/WBE firms that are not registered as such with the State of Connecticut to get its certification promptly.

This Plan also seeks to ensure that Contractor and its subcontractors implement this policy to the greatest extent possible. Towards this end, Contractor and its subcontractors will:

- Initiate and participate in subcontractor awareness programs to facilitate local hiring (including socially disadvantaged groups and other minorities, women and low-income individuals).
- At the job site, visibly post at all times a sign indicating a place and time, to occur at least monthly, when Contractor and its subcontractors will accept additional job applications.
- In advance of any hiring initiative, identify crew sizes, including number of positions needed to be filled and necessary qualifications, and identifying the number of the subcontractor's current employees who are minorities, women or community residents.
- Require hiring entity to contact those job applicants (identified through the job fair or otherwise) interested in the trade being hired with sufficient time for such applicant to respond and be considered for the hiring.
- Establish training programs, either directly or through subcontractors, to assist low-skill laborers learn a trade.
- Monitor the job performance of recent entries into the construction industry to identify problems early, creating opportunities for guidance rather than termination. Maintain records tracking performance, intervention efforts, terminations and the reasons for termination.
- Periodically (at least quarterly) evaluate the success rate of minority, women and low-income applicants in getting employment in order to identify patterns or items which might be addressed to increase employment opportunities. Monitoring and Tracking Practices Contractor will implement a monitoring program to track subcontractor's and Contractor's progress towards meeting and exceed the community outreach goals set forth in the contract.

- Contractor shall provide the Owner with the name and other MBE or WBE status of each subcontractor asked to bid on the work prior to award of the contract.
- All subcontractors will be monitored to ensure compliance.
- Contractor shall maintain a database of all firms, the outreach to such firm, the response, the follow-up, any subcontracting or hiring, and any termination actions, including reasons for such actions. This database shall be in a form to permit reporting of outreach efforts.
- Contractor shall require subcontractors to identify all of their employees by name at the time of Contractor's acceptance of the subcontractor's bid. Subcontractor's employment lists shall be tracked by comparison to this baseline.
- Contractor will develop a formal report of local hires, subcontractors, participation and results, which report will be delivered to the Owner together with each payment request.
- Contractor will periodically update its databases and renew outreach efforts to include any changes in availability