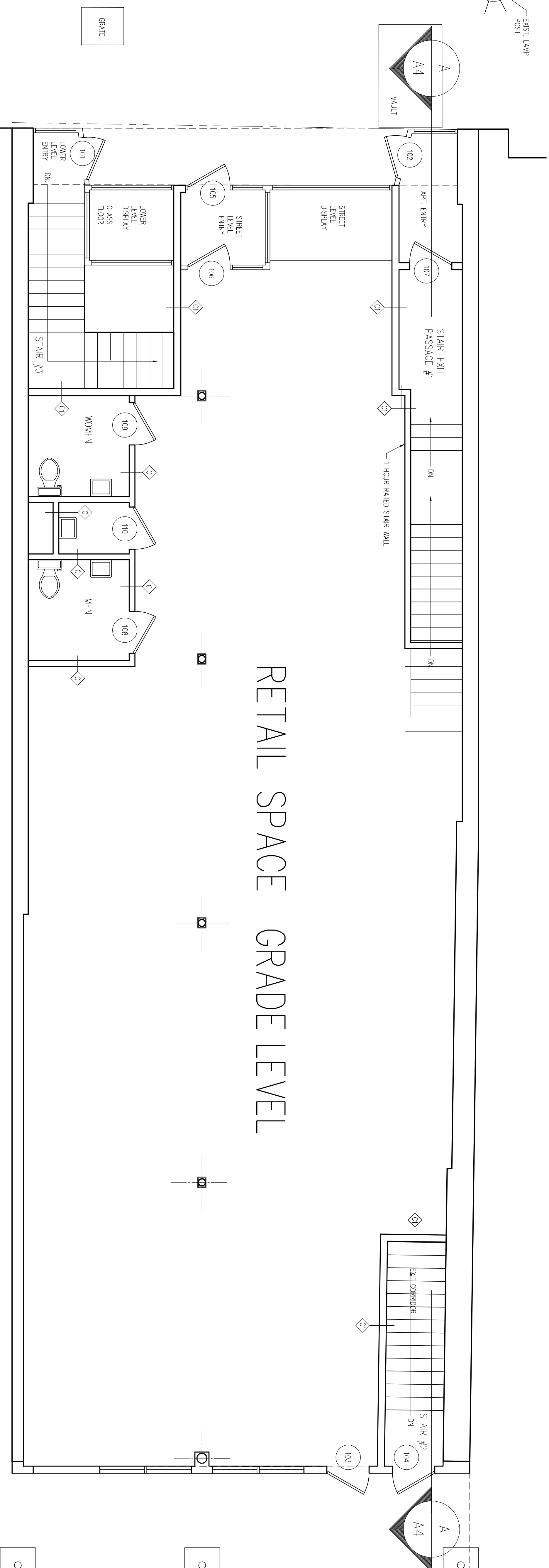
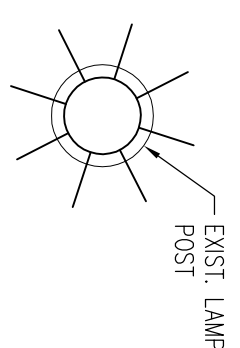


CHURCH STREET

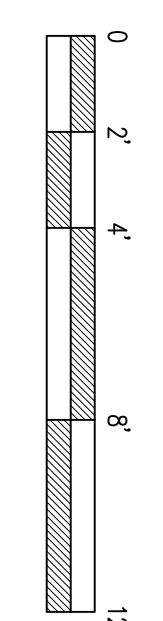
GRANITE CURB



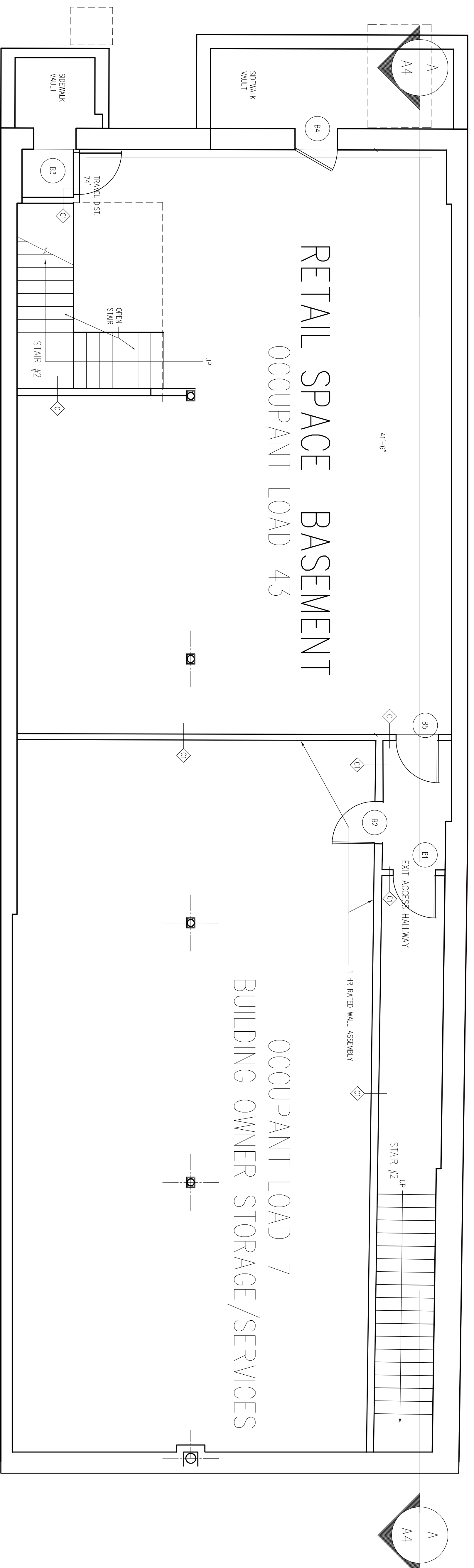
RETAIL SPACE GRADE LEVEL

2 PROPOSED FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"  
NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED IN FIELD.



M CLASSIFICATION-1 RETAIL TENANT

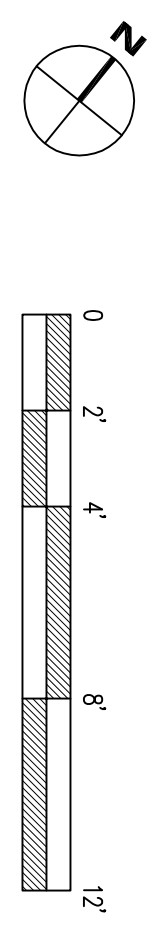


RETAIL SPACE BASEMENT  
OCCUPANT LOAD-43

OCCUPANT LOAD-7  
BUILDING OWNER STORAGE/SERVICES

1 PROPOSED BASEMENT PLAN

SCALE: 1/8" = 1'-0"  
NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED IN FIELD.



M CLASSIFICATION-1 RETAIL TENANT  
OCCUPANT LOAD-50

GENERAL NOTES

SEE DRAWING A4 FOR BUILDING CODE INFORMATION

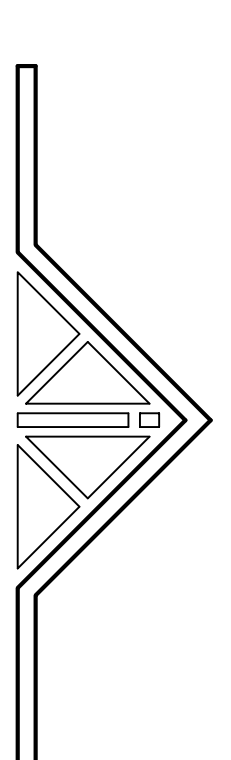
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| NO. | REFERENCE               | DATE     |
|-----|-------------------------|----------|
| 1   | REVISED TRAVEL DISTANCE | 12/10/08 |
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**JOHN A. MATTHEWS A.I.A.**  
ARCHITECTURE AND PLANNING  
817 BOSTON POST ROAD PO BOX 823 MADISON CT 06448  
203 245-0110 FAX 203 245-0102

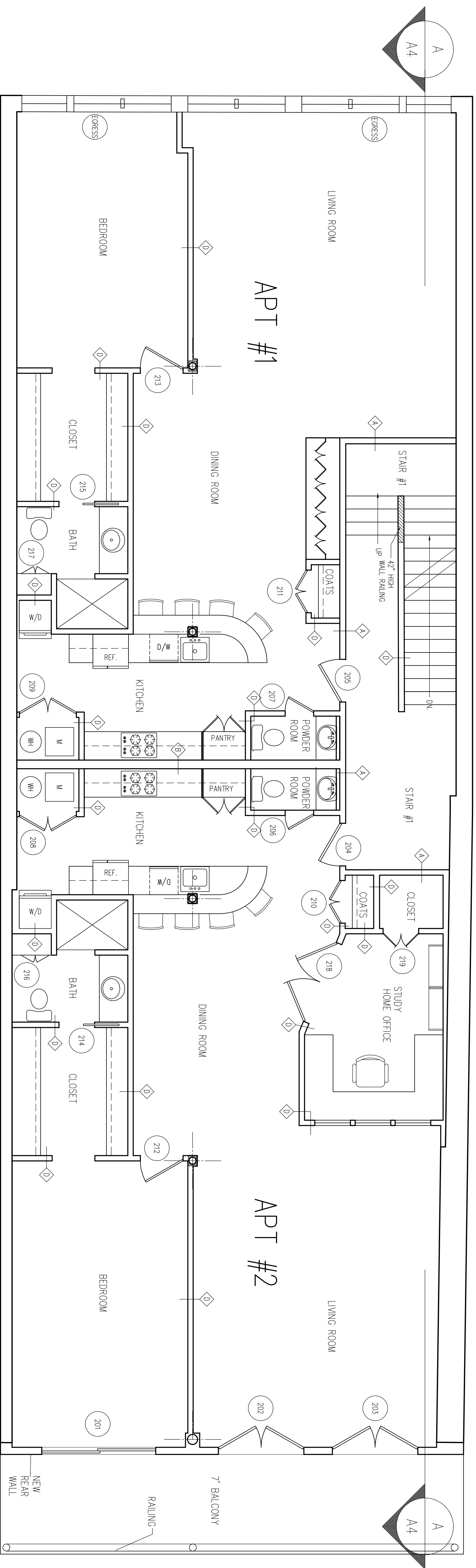
JOB # **MID-BLOCK DEVELOPMENT**  
91 CHURCH STREET  
NEW HAVEN, CONNECTICUT 06510

TITLE OF SHEET  
**FLOOR PLANS**  
**BASEMENT & FIRST FLR**

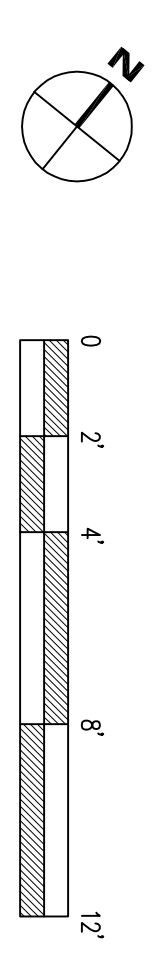
JOB NUMBER **07201**  
STAGE **PERMITS**  
DATE **2/6/09**

SHEET NUMBER **A1**

- .....
- .....
- .....
- .....
- .....



**1** **PROPOSED SECOND FLOOR PLAN**  
**A2** **SCALE: 1/4" = 1'-0"**  
 NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED IN FIELD.



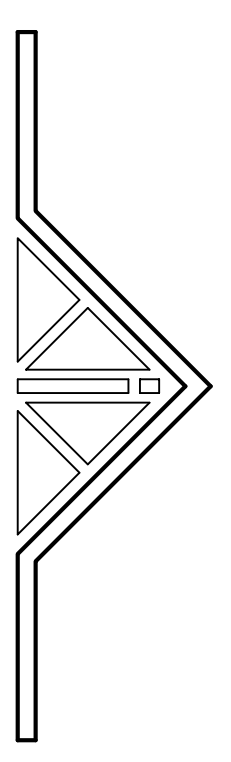
R-2 CLASSIFICATION - TWO APARTMENTS

- 1** **RESIDENTIAL**  
 (2) LAYERS 1/2" TYPE 'X' G.W.B.  
 3 5/8" STL. STUDS @ 16" O.C.  
 2 3/4" FIBERGLASS INSULATION  
 1/2" TYPE 'X' G.W.B.  
 PROVIDE FIRE CAULK & FIRE-RANGING INSULATION @ TOP & BOTTOM OF ALL RATED WALLS.  
 CORRIDOR WALLS @ APARTMENTS STC 90-54 (TEST # RAL-T88-54)  
 1 HOUR RATED  
 GA FILE NO. WP 1023
- 2** **RESIDENTIAL**  
 1/2" RESIDENTIAL CHANNEL  
 6" METAL STUD AT 16" O.C. FRESHSTOPPING TOP & BOTTOM  
 ONE LAYER 5/8" FC GYPSUM WALLBOARD BOTH SIDES, EXTEND TO UNDERSIDE OF STRUCTURE  
 6 1/4" THK SOUND ATTENUATION BATT INSULATION  
 PROVIDE FIRE CAULK & FIRE-RANGING INSULATION @ TOP & BOTTOM OF ALL RATED WALLS.  
 SUITE DIVISIONS WALL STC 55 (TEST # RAL-TL-89-293)  
 1 HOUR RATED  
 U.L. DESIGN NO. U465
- 3** **RETAIL**  
 3 5/8" METAL STUD AT 16" O.C. FRESHSTOPPING TOP & BOTTOM  
 ONE LAYER 5/8" FC GYPSUM WALLBOARD BOTH SIDES, EXTEND TO UNDERSIDE OF STRUCTURE  
 PROVIDE BATHROOM WALLS W/ WATERPROOF G.W.B. & SOUND BATT INSULATION  
 SAME AS 'C' ABOVE, EXCEPT 1 HR. RATED  
 U.L. DESIGN NO. U465  
 PROVIDE FIRE CAULK & FIRE-RANGING INSULATION @ TOP & BOTTOM OF ALL RATED WALLS.
- 4** **RESIDENTIAL**  
 3 5/8" METAL STUD AT 16" O.C. FRESHSTOPPING TOP & BOTTOM  
 ONE LAYER 1/2" TYPE 'C' GYPSUM WALLBOARD BOTH SIDES, EXTEND TO UNDERSIDE OF STRUCTURE  
 PROVIDE BATHROOM WALLS W/ WATERPROOF G.W.B. & SOUND BATT INSULATION  
 PROVIDE @ ALL EXPOSED FOUNDATION FACES
- D** **FOUNDATION WALL**  
 1-2 1/2"
- 5** **FOUNDATION WALL**  
 1-2 1/2"  
 1/2" FOIL-BACK GYPSUM PANELS, SCREWN TO "F" FIBRING CHANNELS, MECHANICALLY ATTACHED TO WALLS, WITH 2" RIGID INSULATION PANELS, TYPICAL AT FINISHED BASEMENT WALLS

**PARTITION TYPES**

NOTE: PROVIDE WATERPROOF G.W.B. BEHIND ALL SINKS

1 1/2" = 1'-0"



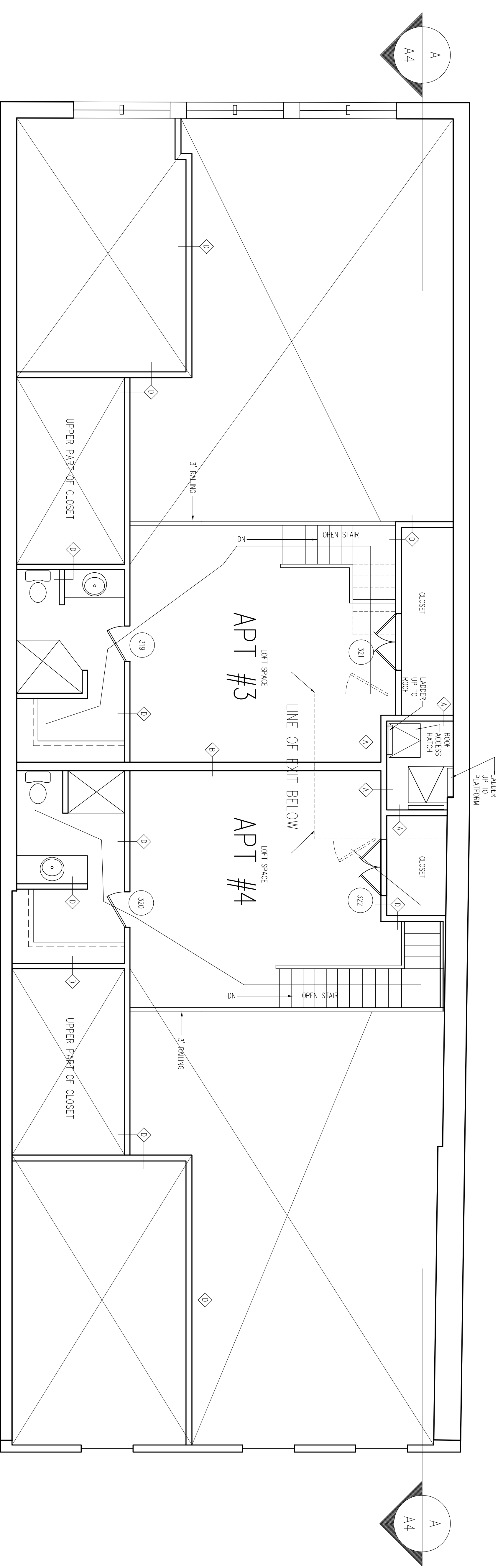
**JOHN A. MATTHEWS A.I.A.**  
 ARCHITECTURE AND PLANNING  
 817 BOSTON POST ROAD PO BOX 823 MADISON CT 06448  
 203 245-0110 FAX 203 245-0102

JOB: MID-BLOCK DEVELOPMENT  
 STAGE: 07201  
 PERMITS: \_\_\_\_\_  
 DATE: 2/6/09

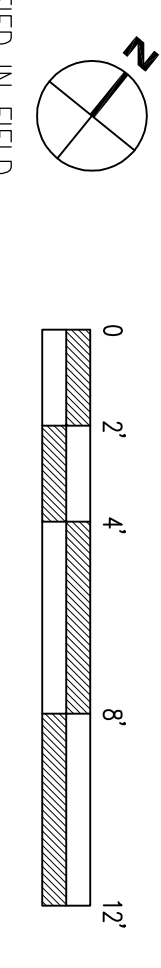
TITLE OF SHEET: SECOND FLOOR PLAN & WALL TYPE SCHEDULE

JOB NUMBER: \_\_\_\_\_ SHEET NUMBER: \_\_\_\_\_

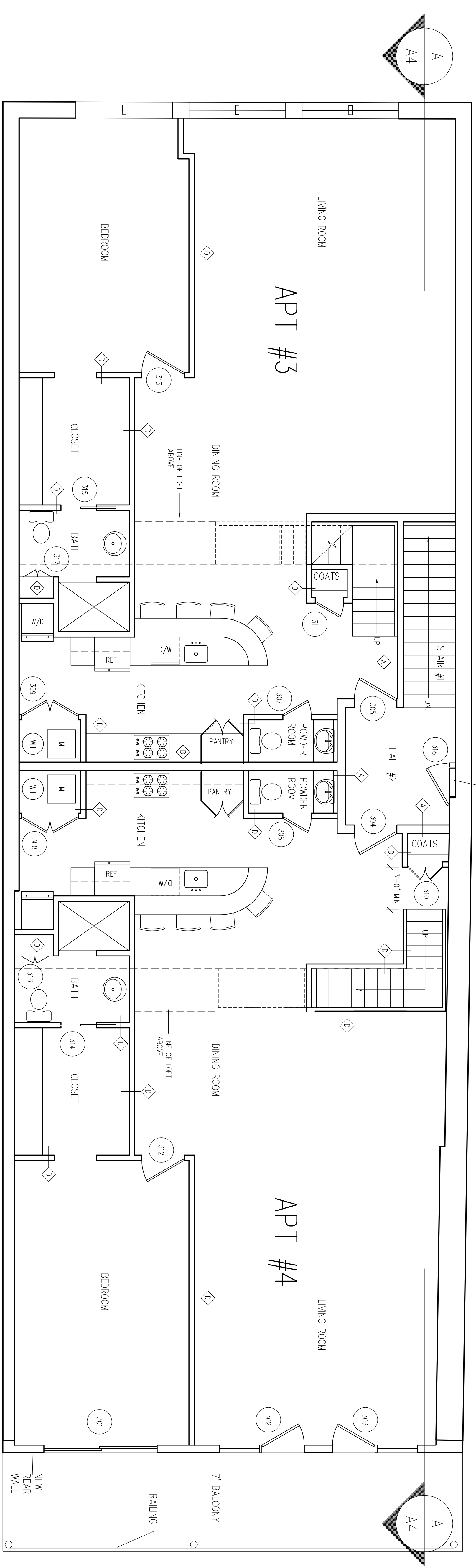
DATE: 2/6/09



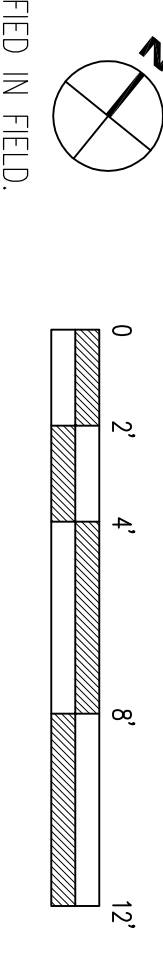
**2** PROPOSED LOFT FLOOR PLAN  
**A3** SCALE: 1/4" = 1'-0"  
 NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED IN FIELD.



R-2 CLASSIFICATION-LOFTS



**1** PROPOSED THIRD FLOOR PLAN  
**A3** SCALE: 1/4" = 1'-0"  
 NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED IN FIELD.



R-2 CLASSIFICATION-TWO APARTMENTS

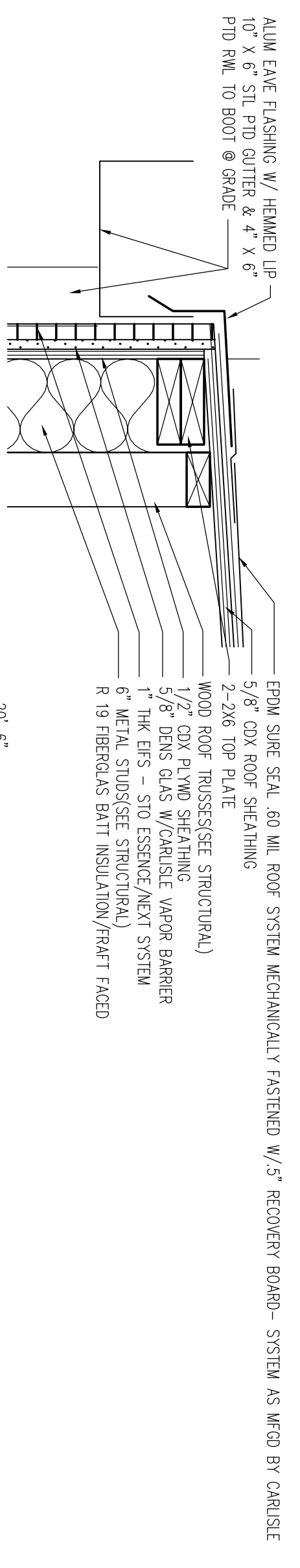
GENERAL NOTES

- .....
- .....
- .....
- .....

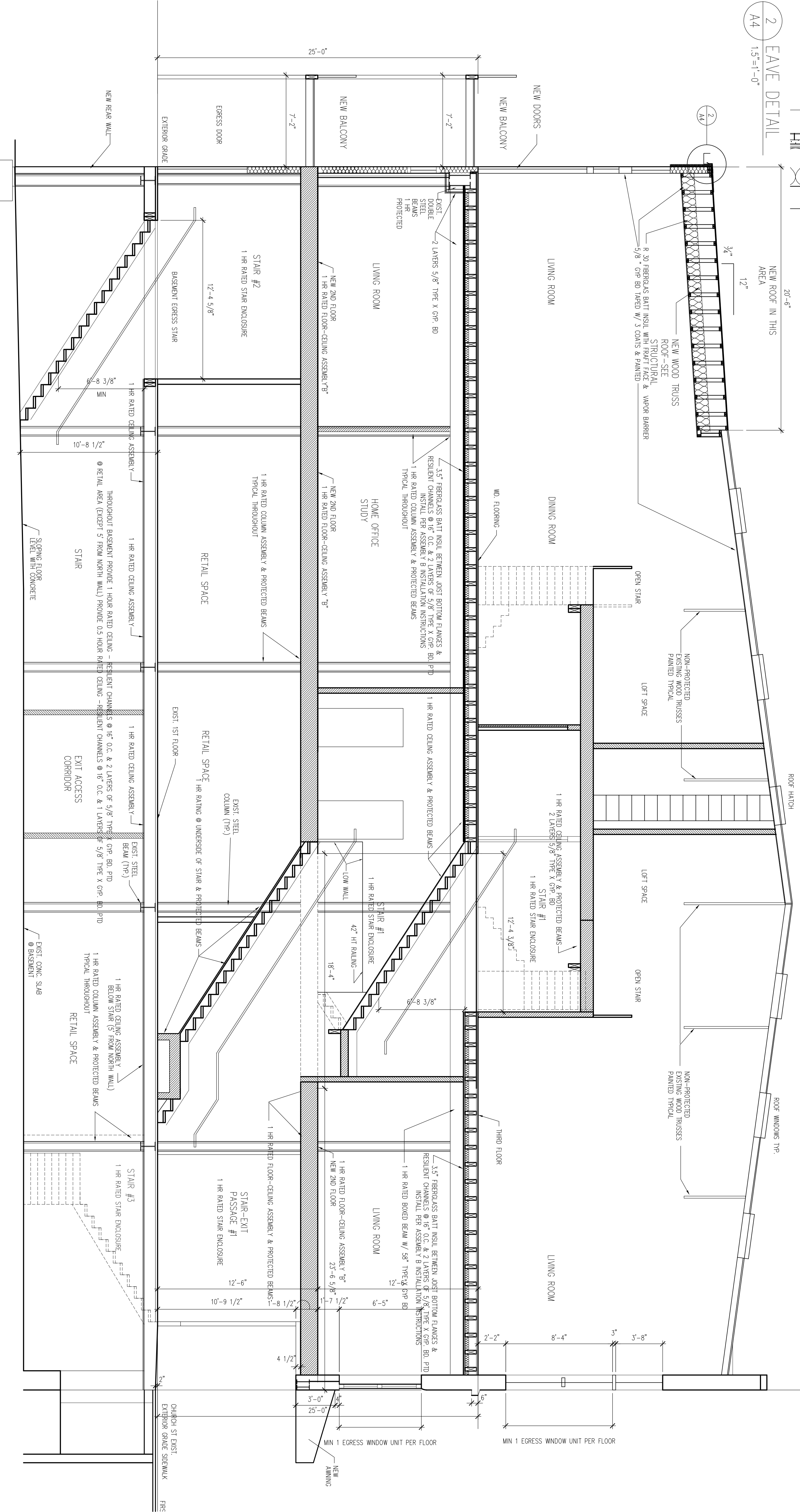
| NO. | REFERENCE                | DATE     |
|-----|--------------------------|----------|
| 1   | TRAVEL DISTANCE REVISION | 12/10/08 |

**JOHN A. MATTHEWS A.I.A.**  
 ARCHITECTURE AND PLANNING  
 817 BOSTON POST ROAD PO BOX 823 MADISON CT 06443  
 203 245-0110 FAX 203 245-0182

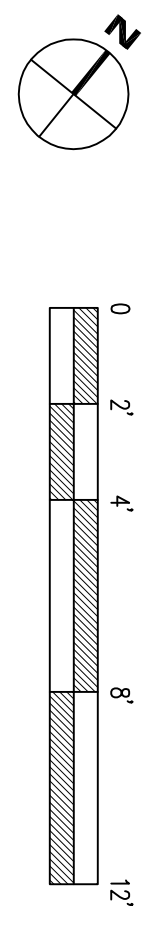
JOB: MID-BLOCK DEVELOPMENT  
 91 CHURCH STREET  
 NEW HAVEN, CONNECTICUT 06510  
 TITLE OF SHEET: FLOOR PLANS  
 THIRD FLOOR & LOFT PLAN  
 JOB NUMBER: 07201  
 STAGE: PERMITS  
 DATE: 2/6/09  
 SHEET NUMBER: **A3**



2 EAVE DETAIL  
A4  
1.5"=1'-0"



1 PROPOSED BUILDING SECTION  
A4  
SCALE: 1/4" = 1'-0"



NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED IN FIELD.

JOB NO. 07201  
**MID-BLOCK DEVELOPMENT**  
 91 CHURCH STREET  
 NEW HAVEN, CONNECTICUT 06510

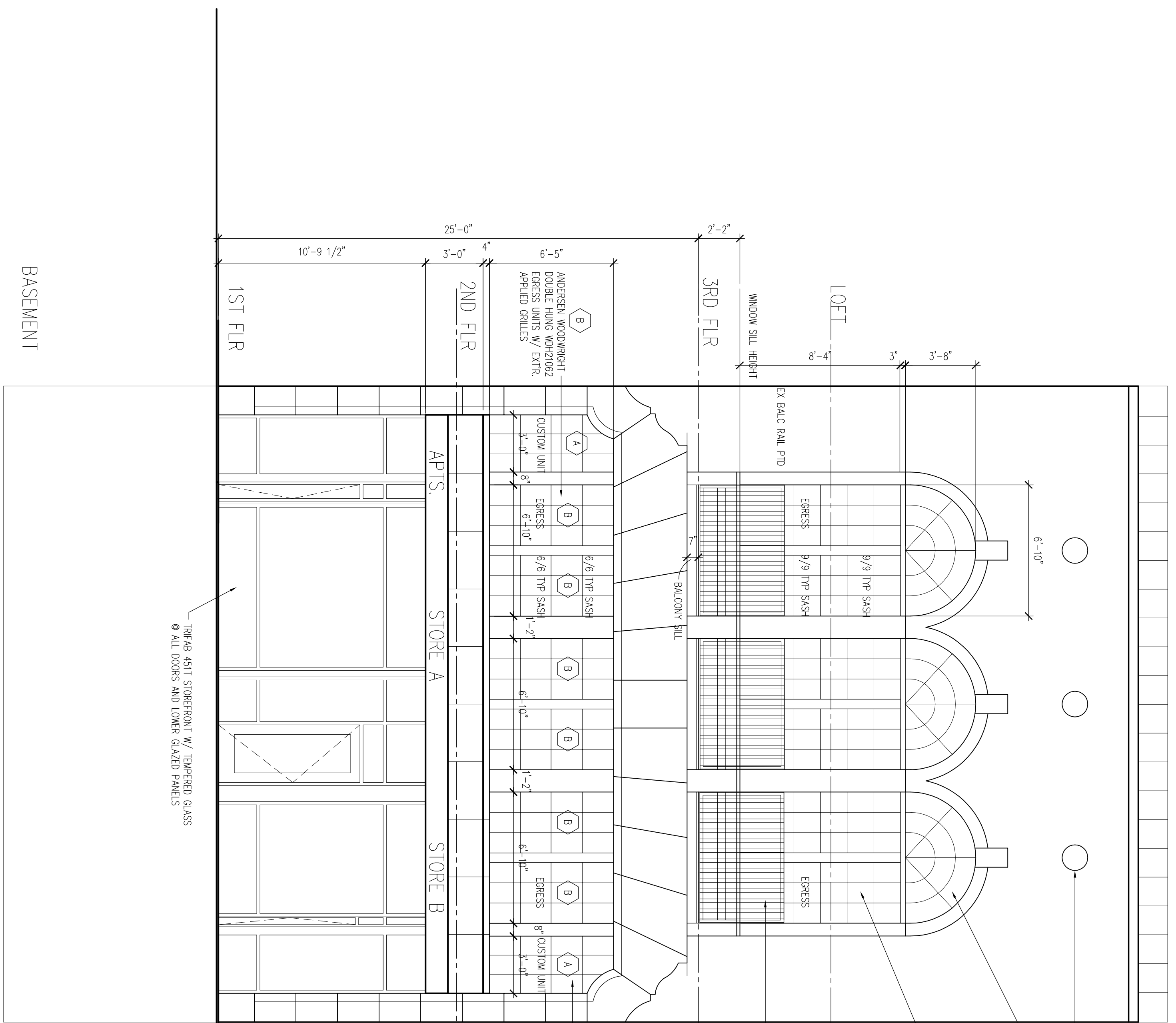
TITLE OF SHEET  
**BUILDING SECTION**  
**BUILDING CODE INFORMATION**

JOB NUMBER 07201  
 STAGE PERMITS  
 DATE 2/6/09

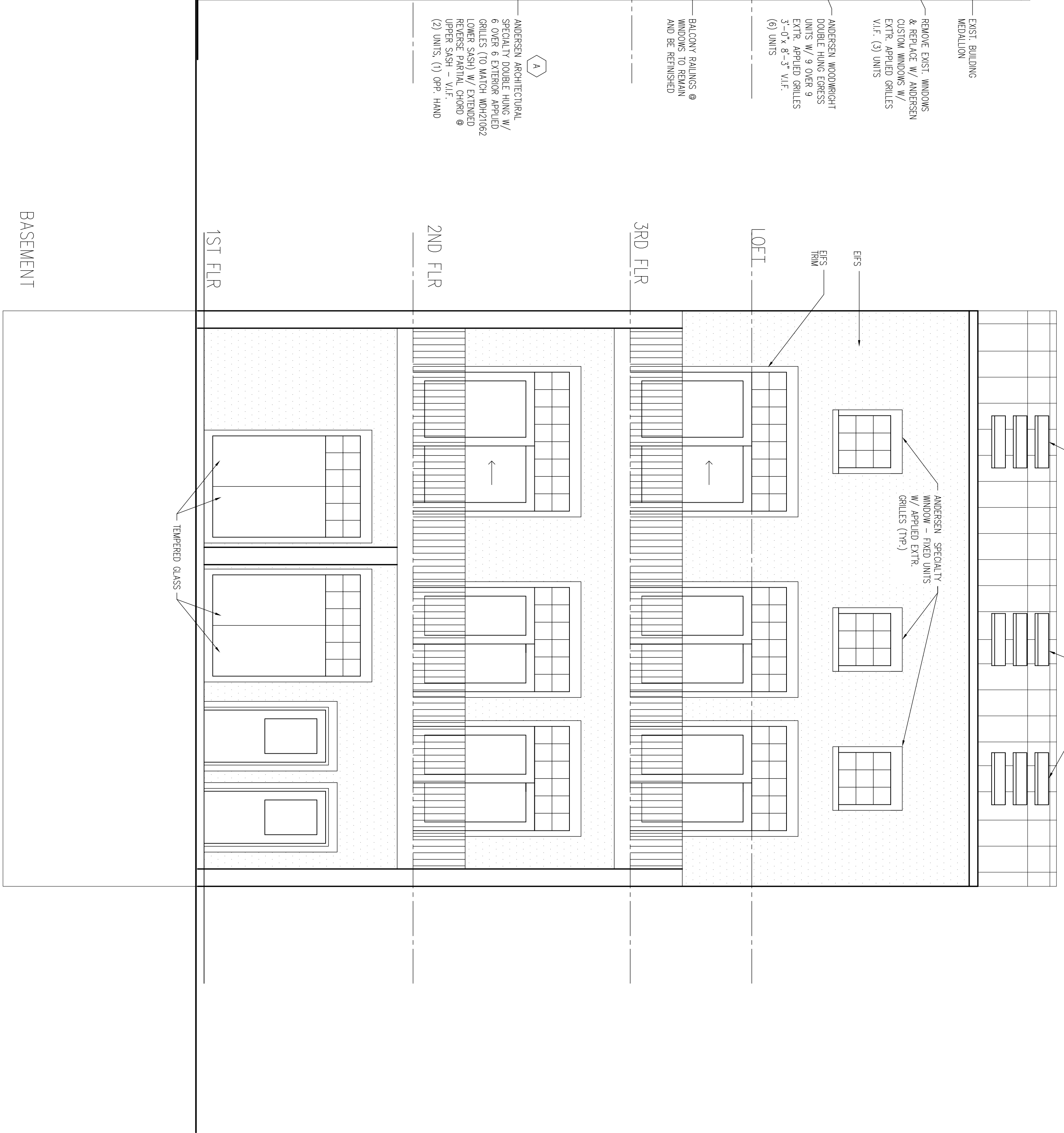
SHEET NUMBER **A4**

**JOHN A. MATTHEWS A.I.A.**  
 ARCHITECTURE AND PLANNING  
 817 BOSTON POST ROAD PO BOX 823 MADISON CT 06448  
 203 245-0110 FAX 203 245-0102

| NO. | REFERENCE                | DATE    |
|-----|--------------------------|---------|
| 1   | TRAVEL DISTANCE REVISION | 12/7/08 |



1 PROPOSED FRONT ELEVATION (EAST)  
AS SCALE: 1/4" = 1'-0"

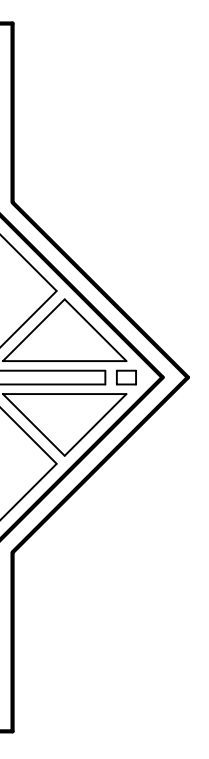


2 PROPOSED REAR ELEVATION (WEST)  
AS SCALE: 1/4" = 1'-0"

GENERAL NOTES

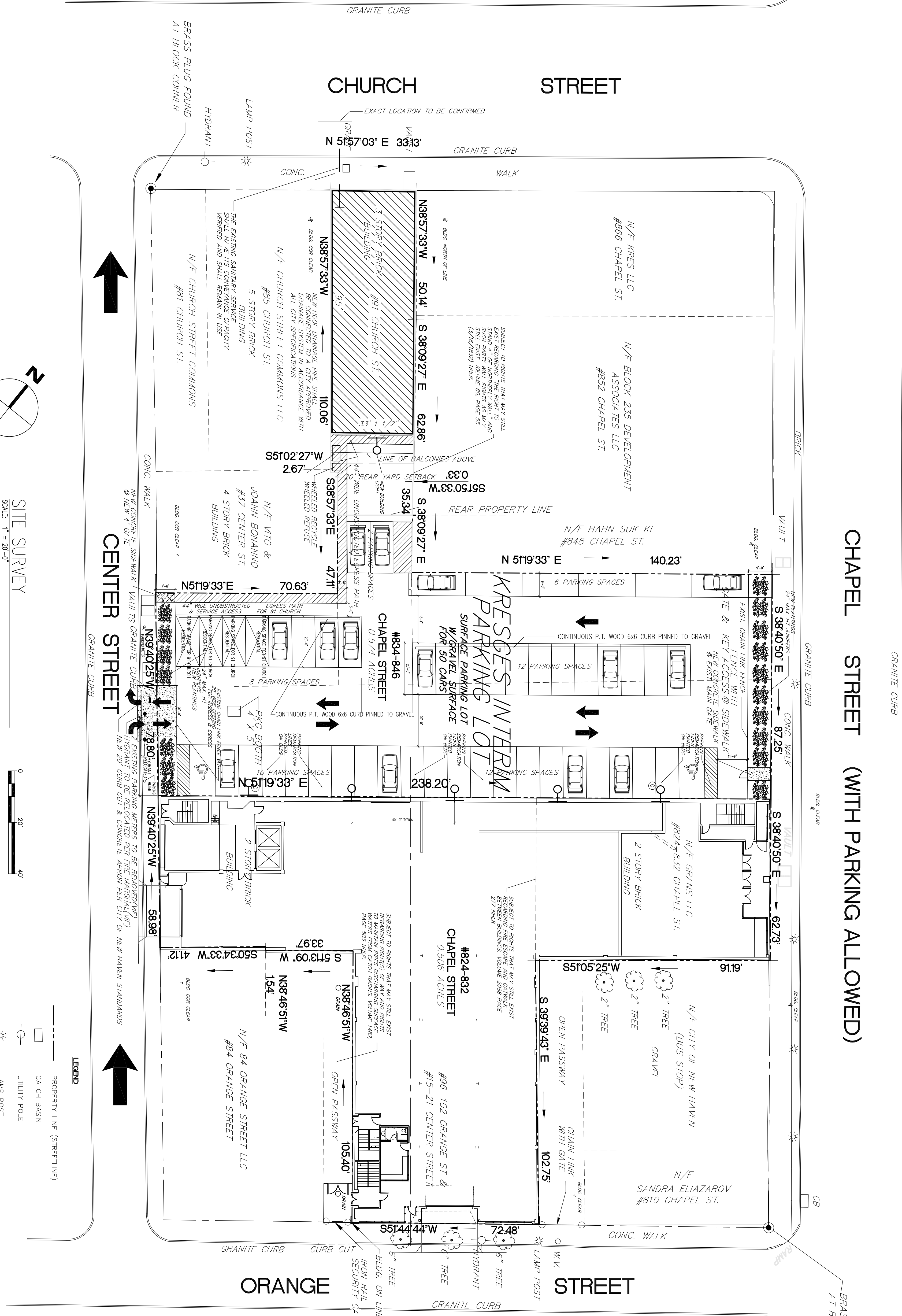
- 1. VELUX FIXED ROOF WINDOWS 36" W x 42" H ON RAISED SLOPE CHIBBS (18 UNITS TOTAL; 9 UNITS OPR. SIDE NOT SHOWN. REFER TO BUILDING SECTION)
- 2. ANDERSEN SPECIALTY WINDOW - FIXED UNITS W/ APPLIED EXTER. GRILLES (TYP.)

| NO. | REFERENCE | DATE |
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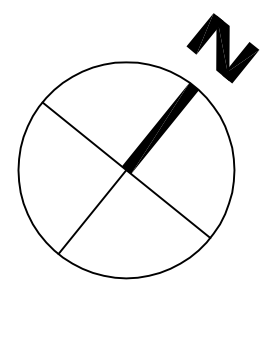

  
**JOHN A. MATTHEWS A.I.A.**  
 ARCHITECTURE AND PLANNING  
 817 BOSTON POST ROAD PO BOX 823 MANSION CT 06443  
 203 245-0110 FAX 203 245-0082

JOB  
**MID-BLOCK DEVELOPMENT**  
 91 CHURCH STREET  
 NEW HAVEN CT 06510  
 TITLE OF SHEET  
**BUILDING ELEVATIONS**  
 JOB NUMBER  
**07201**  
 STAGE  
**PERMITS**  
 DATE  
**2/6/09**  
 SHEET NUMBER  
**A5**

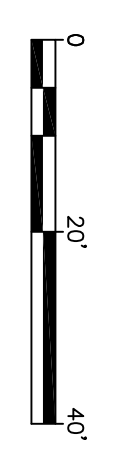




CHAPEL STREET (WITH PARKING ALLOWED)



SITE SURVEY  
SCALE: 1" = 20'-0"



- LEGEND**
- PROPERTY LINE (STREETLINE)
  - CATCH BASIN
  - UTILITY POLE
  - ⊙ LAMP POST
  - ⊙ WATER VALVE
  - CHAIN LINK FENCE
  - HYDRANT
  - WALL MOUNTED LIGHT & SECURITY CAMERA
  - WALL MOUNTED LIGHT
  - NEW POST LIGHT

GENERAL NOTES

| NO. | REFERENCE                        | DATE    |
|-----|----------------------------------|---------|
| 1   | CHANGES FROM CITY REVIEW MEETING | 3/20/09 |

**JOHN A. MATTHEWS A.I.A.**  
ARCHITECTURE AND PLANNING  
817 BOSTON POST ROAD PO BOX 823 MADISON CT 06443  
203 245-0110 FAX 203 245-0182

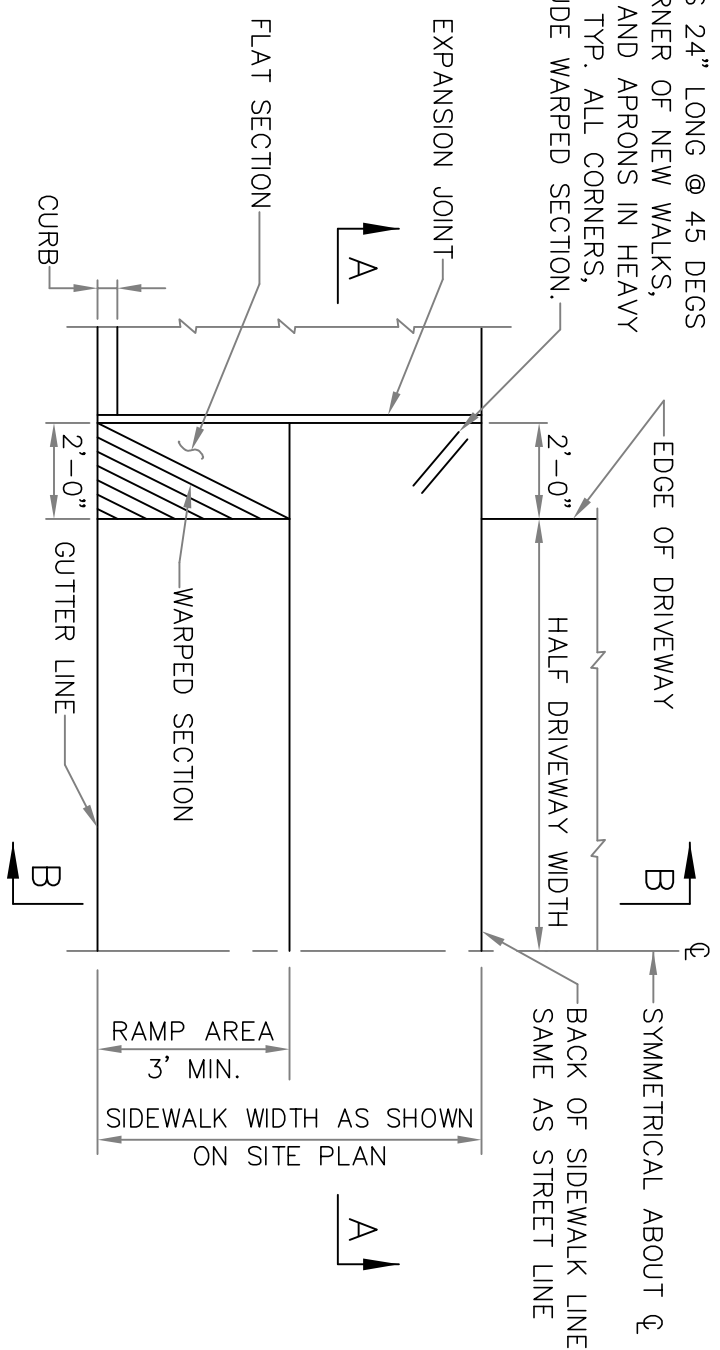
JOB NO. 07201  
STAGE PERMITS  
DATE 3/11/09

TITLE OF SHEET  
**91 CHURCH ST. & PARKING LOT**  
96 ORANGE STREET  
NEW HAVEN, CONNECTICUT 06510

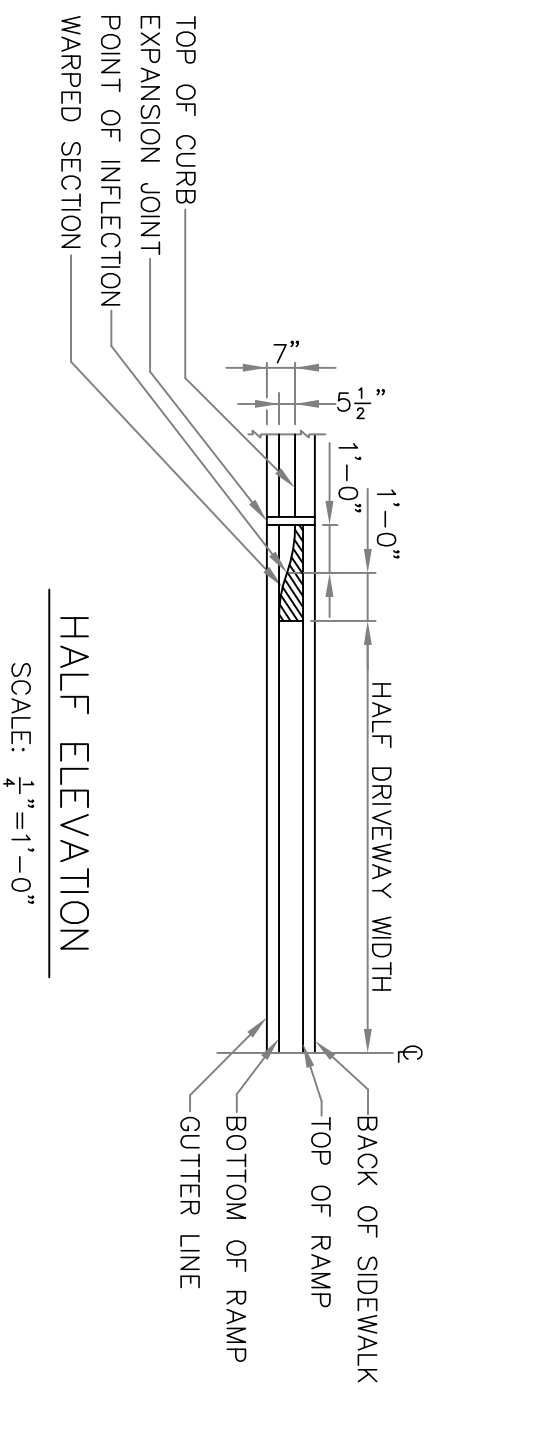
SITE PLAN  
RETAIL/APARTMENT BUILDING

JOB NUMBER 07201  
SHEET NUMBER

2-# 4 BARS 24" LONG @ 45 DEGS  
 @ EACH CORNER OF NEW WALKS,  
 DRIVEWAYS, AND APRONS IN HEAVY  
 USE AREAS, TYP. ALL CORNERS,  
 WHICH INCLUDE WARPED SECTION.



HALF PLAN  
 SCALE: 1/4"=1'-0"



TYPICAL CONCRETE DRIVEWAY DETAILS  
 AS SHOWN

NOTE: THE NUMBERS IN PARENTHESES APPLY ONLY TO  
 COMMERCIAL DRIVEWAYS

**CITY OF NEW HAVEN**  
 DEPARTMENT OF ENGINEERING  
 RICHARD H. MILLER, P.E., L.S. 9886  
 CITY ENGINEER

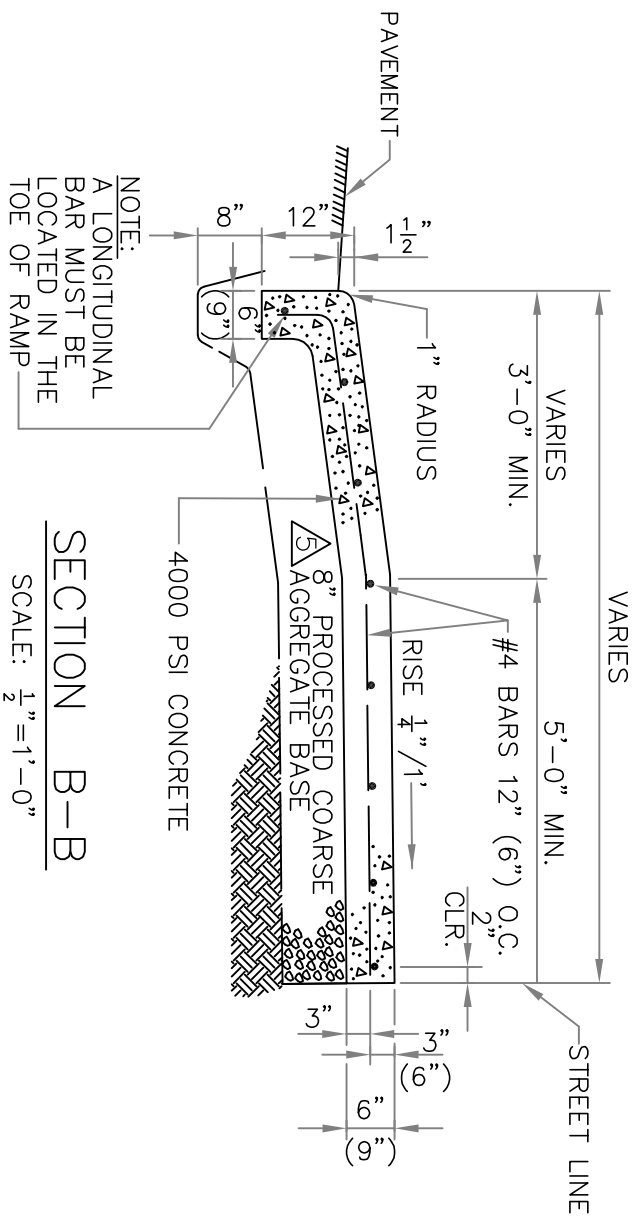
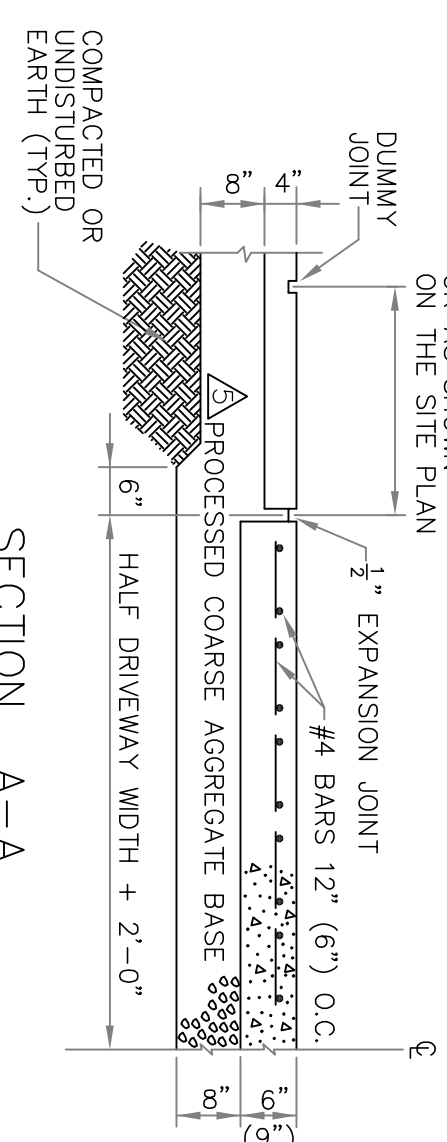
DATE: 12/10/09  
 DRAWN BY: T. HAYES  
 CHECKED BY: R. H. MILLER  
 PROJECT NO: STD-NH-03A

**CITY OF NEW HAVEN**  
 DEPARTMENT OF ENGINEERING  
 RICHARD H. MILLER, P.E., L.S. 9886  
 CITY ENGINEER

DATE: 8/1/05  
 DRAWN BY: T. HAYES  
 CHECKED BY: R. H. MILLER  
 PROJECT NO: STD-NH-03

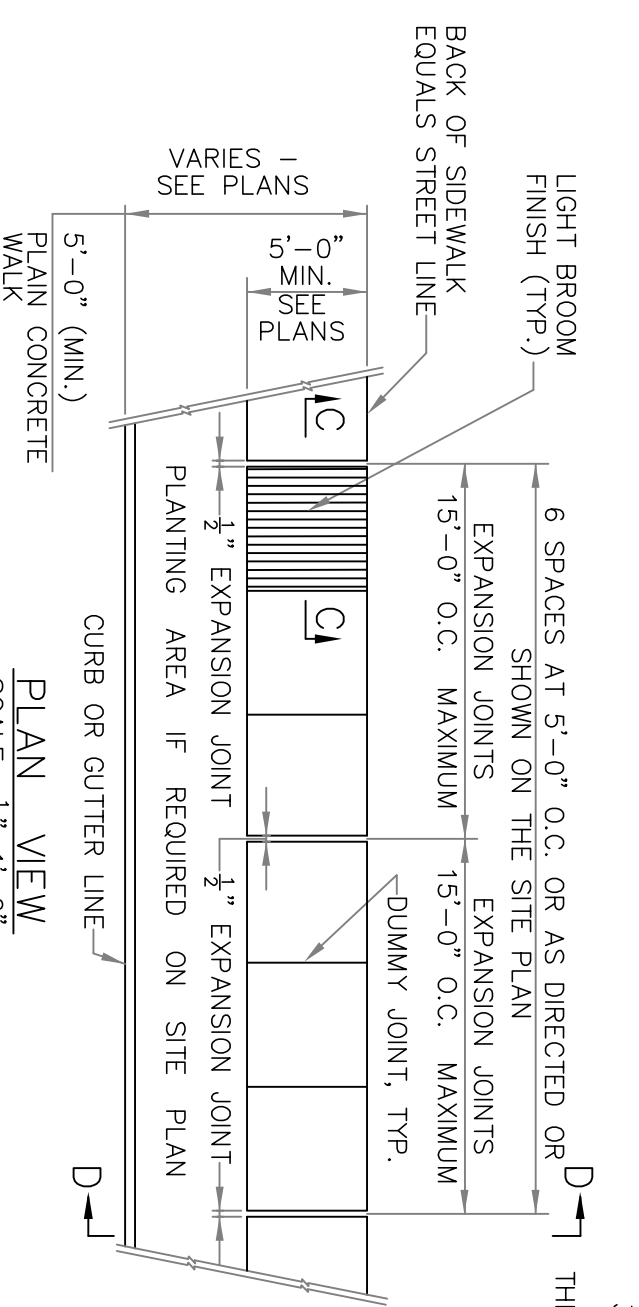
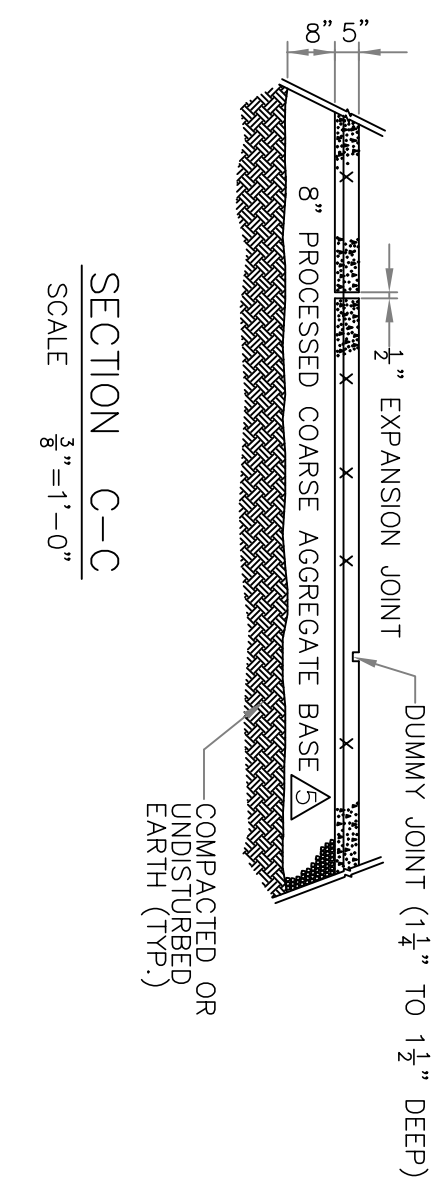
**CITY OF NEW HAVEN**  
 DEPARTMENT OF ENGINEERING  
 RICHARD H. MILLER, P.E., L.S. 9886  
 CITY ENGINEER

DATE: 3/23/05  
 DRAWN BY: T. HAYES  
 CHECKED BY: R. H. MILLER  
 PROJECT NO: STD-NH-04



ADDED 8/1/05 - D.L.S.

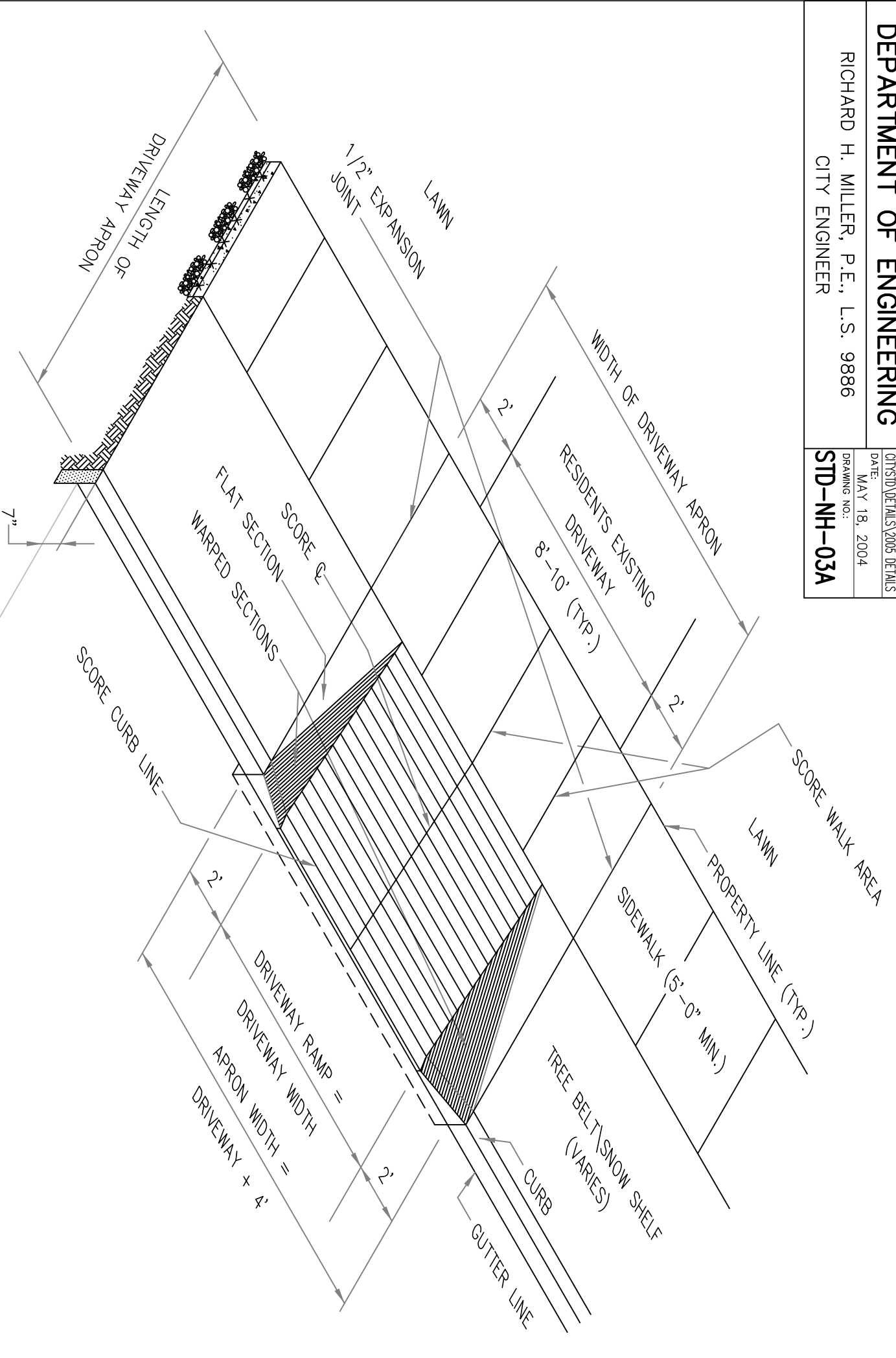
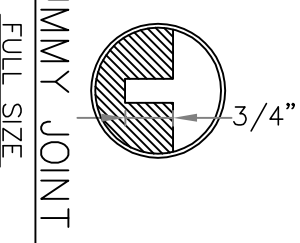
ADDED 3/23/05 - D.L.S.



- NOTES:
1. MATERIALS, METHODS OF INSTALLATION, CURING, TESTING, SHALL CONFORM TO STATE OF CT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FORM B14A, OR B19 @ 1995.
  2. ANY WALKING SURFACE SHALL BE LIGHTLY BROOMED PERPENDICULAR TO THE TRAVEL WAY.
  3. WIRE MESH SHALL BE PLACED 2 1/2" BELOW THE SIDEWALK SURFACE. MATERIAL SHALL BE STAINLESS STEEL. WIRE MESH SHALL BE USED IN ALL COMMERCIAL SIDEWALK APPLICATIONS. THE MESH MAY BE OMITTED ONLY WITH THE SPECIFIC AUTHORIZATION OF THE CITY ENGINEER ON A CASE-BY-CASE BASIS.

TYPICAL SIDEWALK DETAILS  
 SCALE: AS NOTED

SIDEWALK NOTES:  
 1. UNLESS OTHERWISE SPECIFIED OR DIRECTED BACK  
 OF WALK TO BE ON STREET LINE



TYPICAL CONCRETE DRIVEWAY RAMP (ISOMETRIC VIEW)  
 SCALE: 1/4"=1'-0"

NOTE:  
 FIELD ADJUSTMENTS MAY BE REQUIRED FOR UNUSUAL  
 EXISTING FEATURES SUCH AS TREES, POWER POLES, ETC.

| NO. | REFERENCE | DATE |
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**JOHN A. MATTHEWS A.I.A.**  
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 203 245-0110 FAX 203 245-0162

J08  
 91 CHURCH ST. & PARKING LOT  
 96 ORANGE STREET  
 NEW HAVEN, CONNECTICUT 06510

JOB NUMBER  
 07201  
 SHEET NUMBER

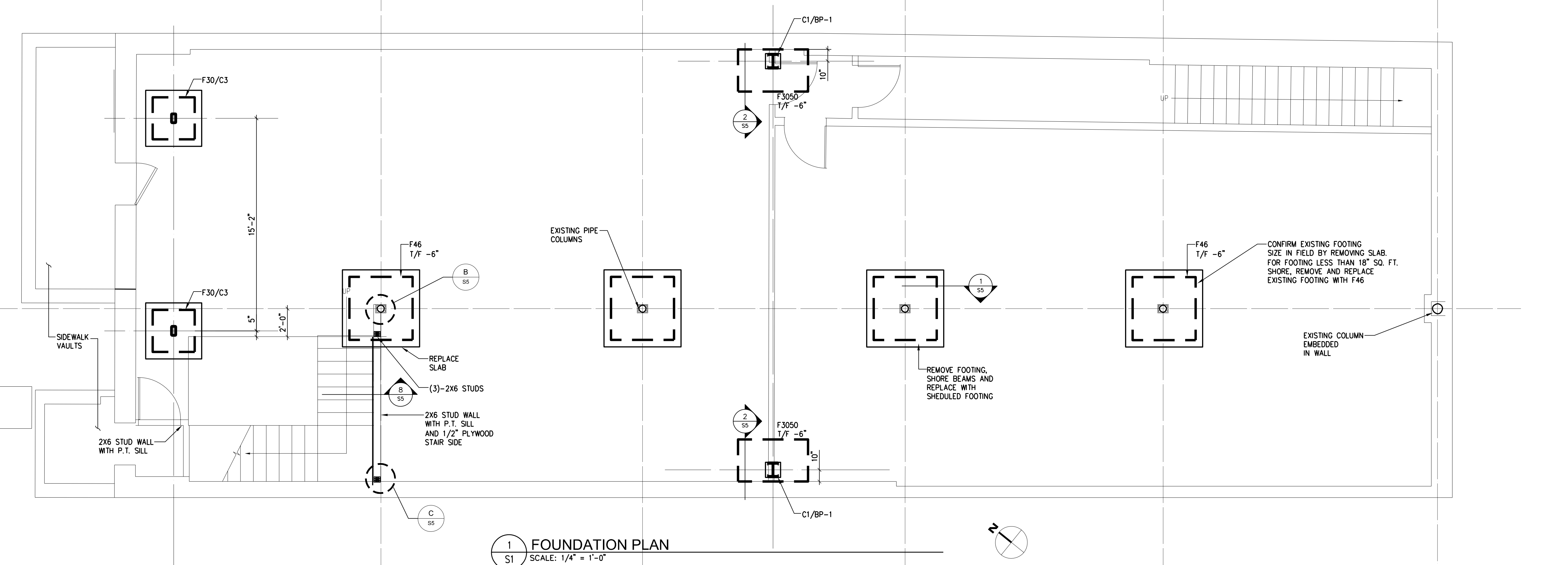
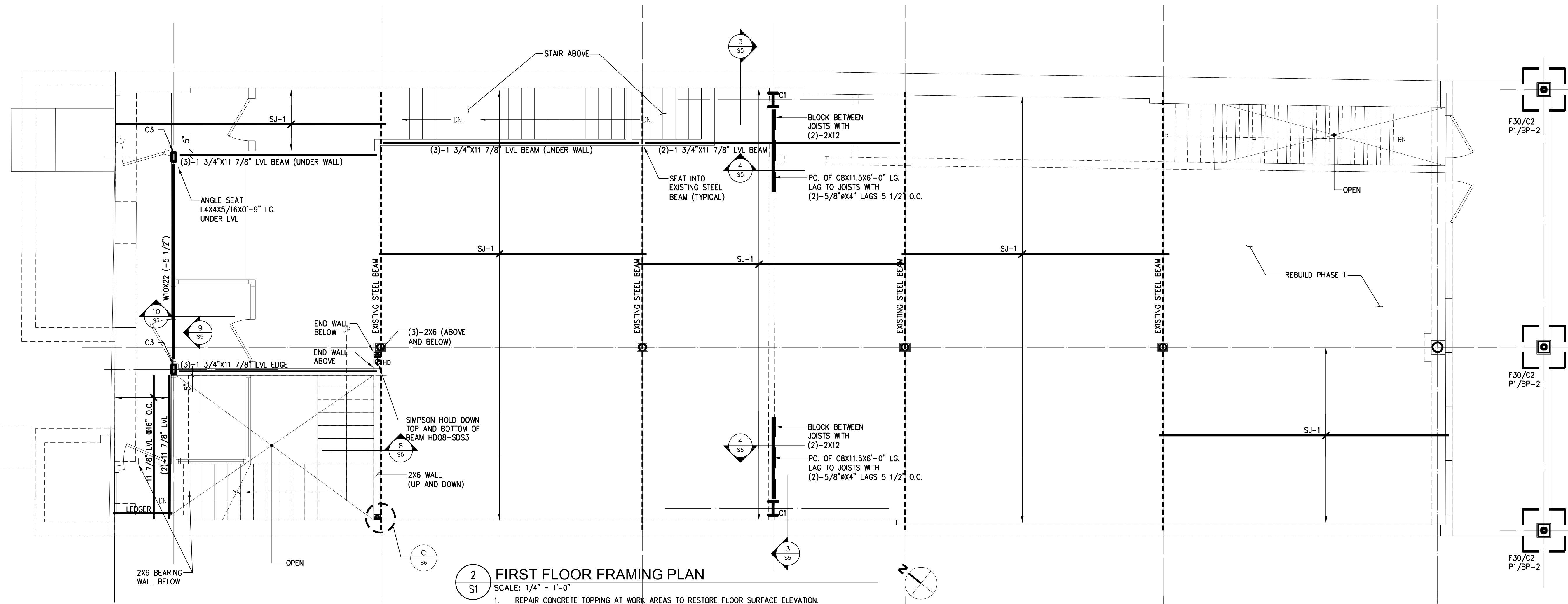
STAGE  
 PERMITS  
 DATE  
 3/11/09

C3R



**LEGEND**

| MARK  | DESCRIPTION  |
|-------|--|
| BP-1  | 1X13X1'-1" BASE PLATE WITH (4)-3/4" EPOXY ANCHORS                |
| BP-2  | 3/4X10X0'-10" BASE PLATE WITH (4)-5/8" EPOXY ANCHORS<br>6" EMBED |
| C1    | W12X50 COLUMN  |
| C2    | HSS4X4X5/16 COLUMN   |
| C3    | HSS8X4X3/8 COLUMN  |
| F30   | 3'-0"X3'-0"X1'-0" FOOTING REINF. WITH (4)-#4 EACH WAY            |
| F3050 | 3'-0"X5'-0"X1'-6" FOOTING REINF. WITH (6)-#5 EACH WAY            |
| F46   | 4'-6"X4'-6"X1'-4" FOOTING REINFORCED WITH (6)-#5X4'-0"           |
| P1    | 12X1'-0" PIER WITH (4)-#5 VERTICAL AND #3 TIES @8" O.C.          |
| SJ-1  | 1 3/4X11 7/8" LVL SISTER @32" O.C.                               |



| NO. | REFERENCE                  | DATE     |
|-----|----------------------------|----------|
| 1   | BUILDING PERMIT (PHASE II) | 02-06-09 |
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**JOHN A. MATTHEWS A.I.A.**  
ARCHITECTURE AND PLANNING  
817 BOSTON POST ROAD PO BOX 663 HANSON CT 06443  
203 246-0110 FAX 203 246-0182

**JOB**  
MID-BLOCK DEVELOPMENT  
91 CHURCH STREET  
NEW HAVEN, CONNECTICUT 06510

**TITLE OF SHEET**  
FOUNDATION AND FIRST FLOOR BASEMENT PLAN

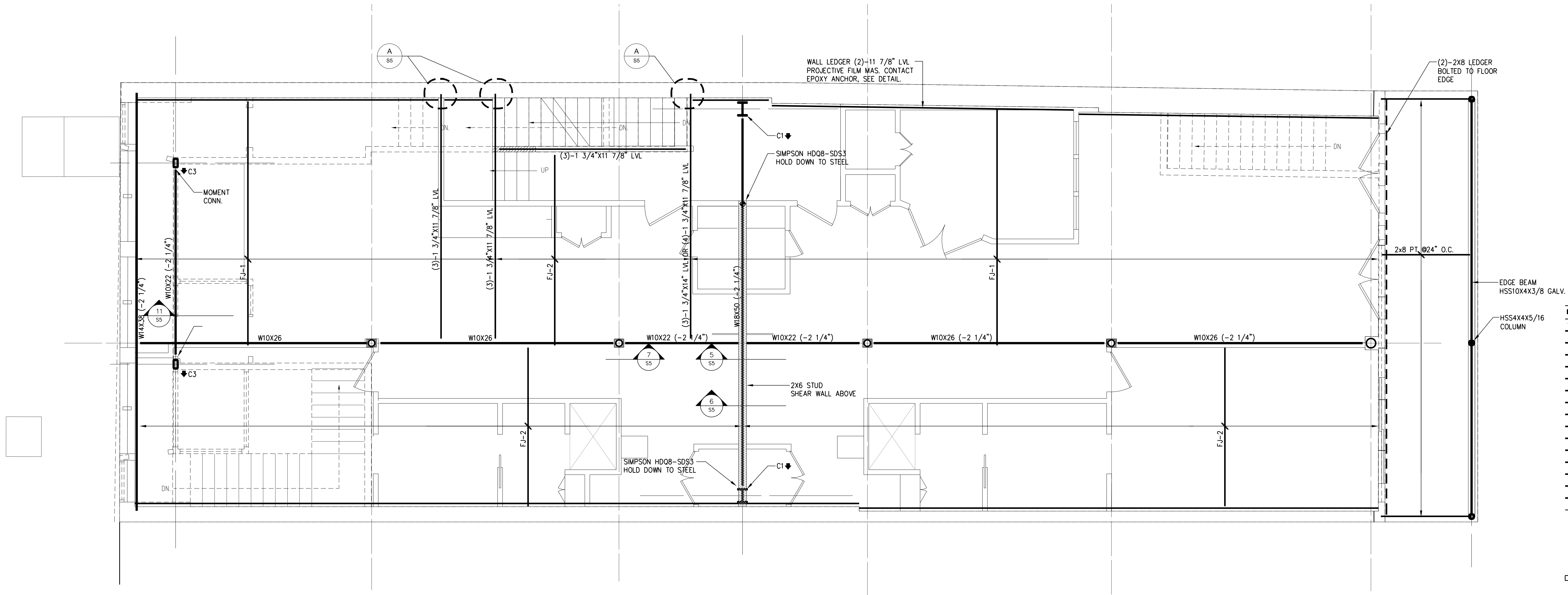
**JOB NUMBER** 07201 **SHEET NUMBER** S1

**STAGE**  
PRELIMINARY

**DATE**  
9/3/08

GENERAL NOTES

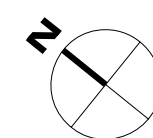
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| NO. | REFERENCE                  | DATE     |
|-----|----------------------------|----------|
| 1   | BUILDING PERMIT (PHASE II) | 02-06-09 |
|     |                            |          |
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| LEGEND |                                  |
|--------|----------------------------------|
| MARK   | DESCRIPTION                      |
| FJ-1   | 11 7/8" TJI-360 JOISTS @16" O.C. |
| FJ-2   | 11 7/8" TJI-230 JOISTS @16" O.C. |
| C3     | HSS8X4X3/8 COLUMN                |
| ↓      | COLUMN DOWN                      |

1 PROPOSED SECOND LEVEL FRAMING PLAN  
 S2 SCALE: 1/4" = 1'-0"



**JOHN A. MATTHEWS A.I.A.**  
 ARCHITECTURE AND PLANNING  
 817 BOSTON POST ROAD PO BOX 823 MADISON CT 06443  
 203 246-0110 FAX 203 246-0182

**JOB**  
 MID-BLOCK DEVELOPMENT  
 91 CHURCH STREET  
 NEW HAVEN, CONNECTICUT 06510  


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**TITLE OF SHEET**  
 PROPOSED SECOND LEVEL  
 FRAMING PLAN  


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**JOB NUMBER** 07201      **SHEET NUMBER**  

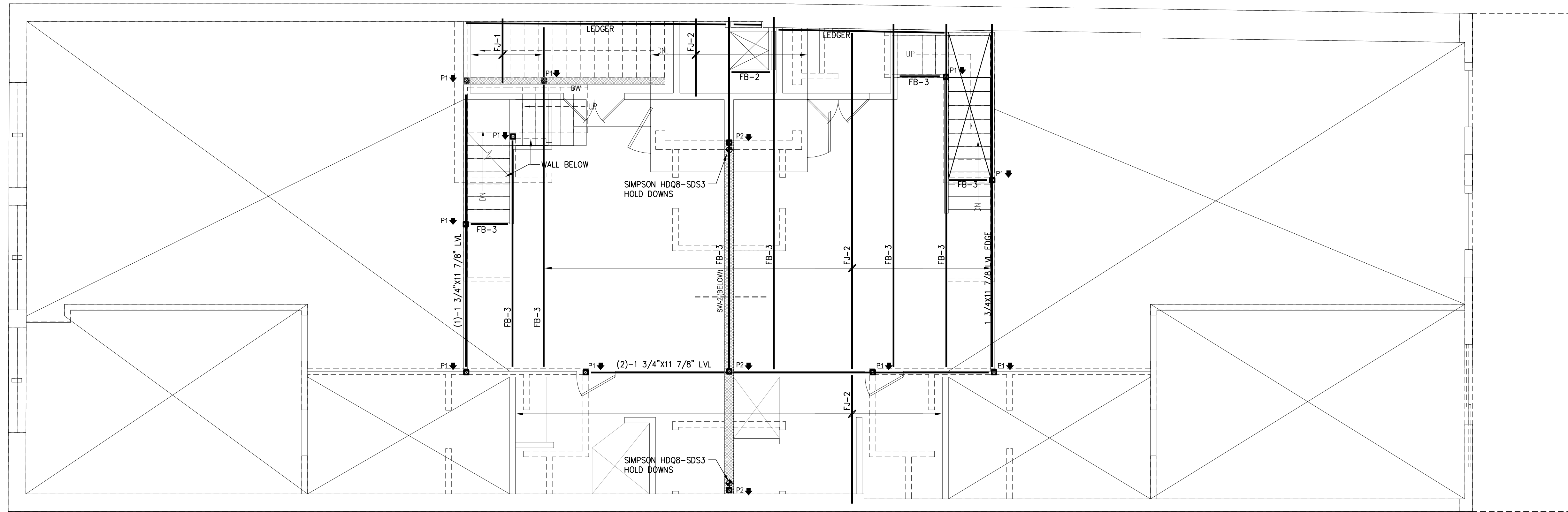

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**STAGE** PRELIMINARY      **S2**  

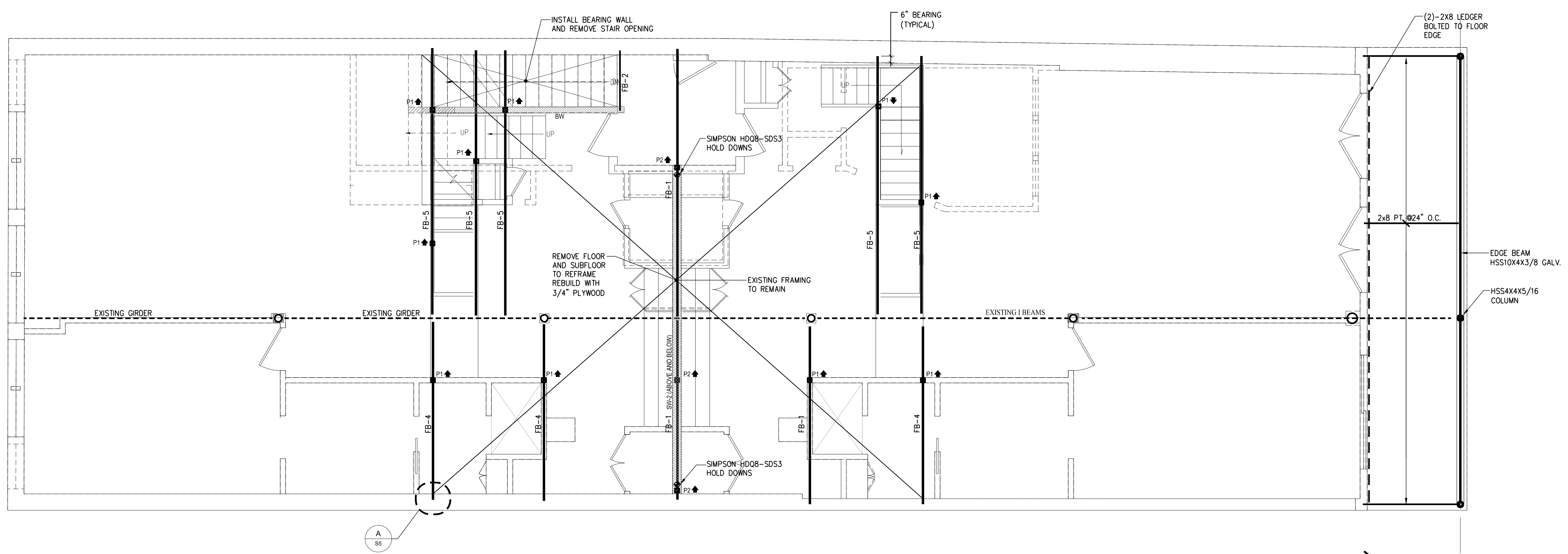

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**DATE** 9/3/08

| LEGEND |                                      |
|--------|--------------------------------------|
| MARK   | DESCRIPTION                          |
| FB-1   | (3)-1 3/4"x11 7/8" LVL               |
| FB-2   | (4)-1 3/4"x11 7/8" LVL               |
| FB-3   | (2)-1 3/4"x11 7/8" LVL               |
| FB-4   | (3)-1 3/4"x9 1/2" LVL                |
| FB-5   | (2)-1 3/4"x11 1/4" LVL               |
| FJ-1   | 11 7/8" TJI-360 JOISTS @16" O.C.     |
| FJ-2   | 11 7/8" TJI-260 JOISTS @16" O.C.     |
| P-1    | (3)-2X4 POST                         |
| P-2    | (3)-2X6 POST                         |
| SW-2   | 2X6 SHEAR WALL WITH PLYWOOD ONE FACE |
| BW     | BEARING WALL                         |



2 LOFT FRAMING PLAN  
S3 SCALE: 1/4" = 1'-0"



2 PROPOSED THIRD LEVEL FRAMING PLAN  
S3 SCALE: 1/4" = 1'-0"

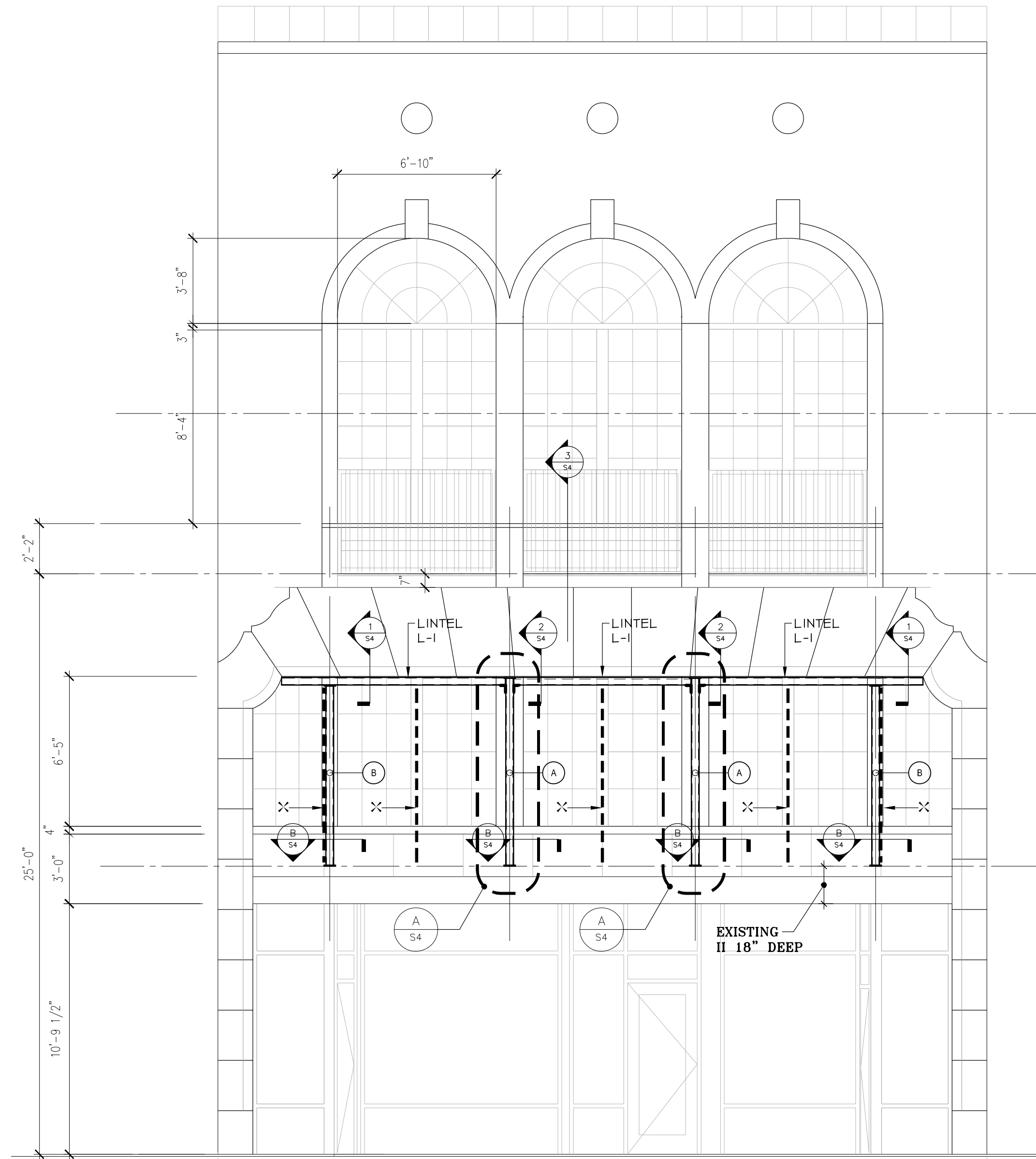
| NO. | REFERENCE                  | DATE     |
|-----|----------------------------|----------|
| 1   | BUILDING PERMIT (PHASE II) | 02-06-09 |
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**JOHN A. MATTHEWS A.I.A.**  
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JOB  
 MID-BLOCK DEVELOPMENT  
 91 CHURCH STREET  
 NEW HAVEN, CONNECTICUT 06510  
 TITLE OF SHEET  
 PROPOSED THIRD AND LOFT  
 FRAMING PLANS  
 JOB NUMBER 07201 SHEET NUMBER S3  
 STAGE PRELIMINARY  
 DATE 9/3/08

GENERAL NOTES

.....

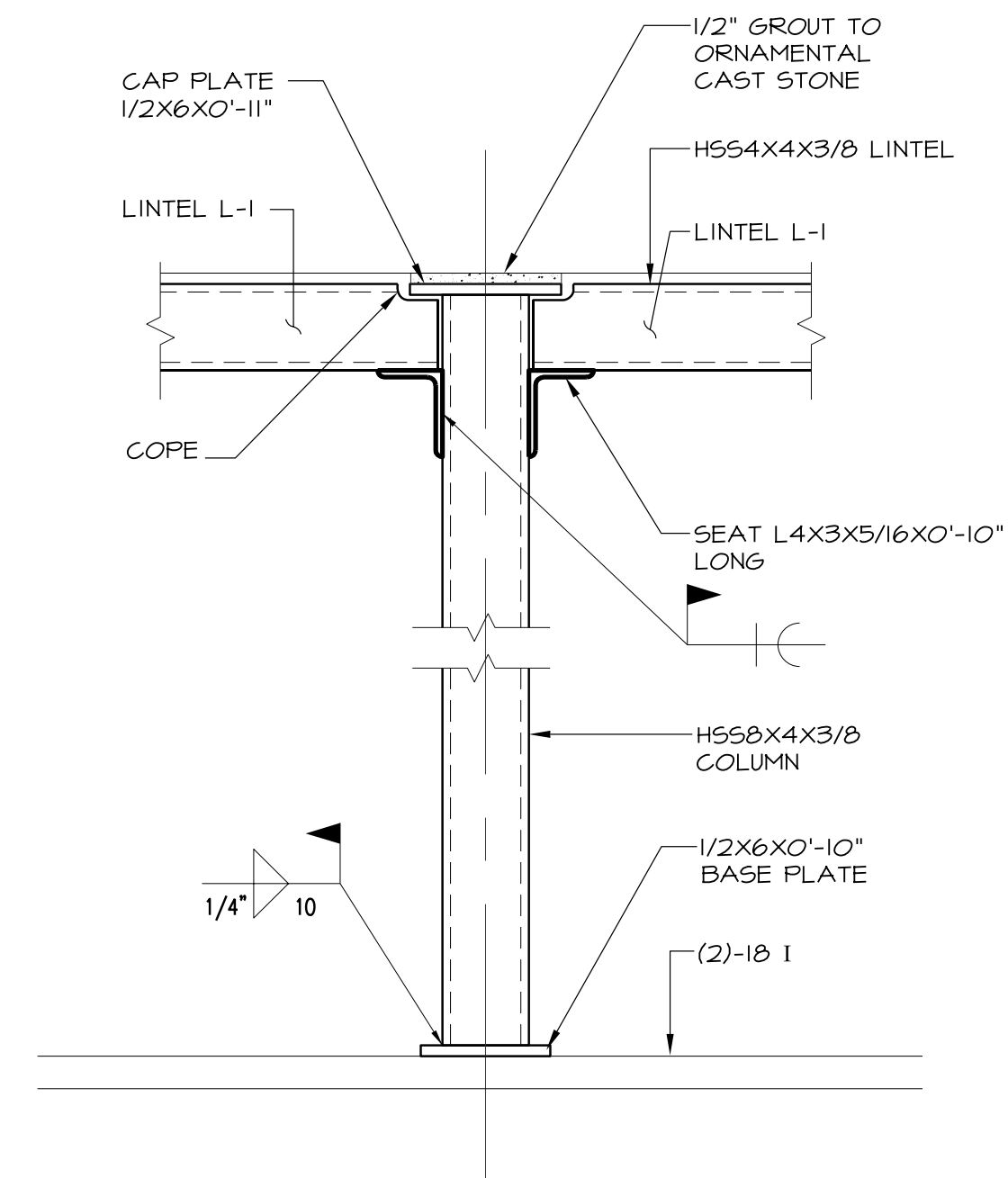


**E1** ELEVATION CHURCH STREET  
Scale: 1/4" = 1'-0"

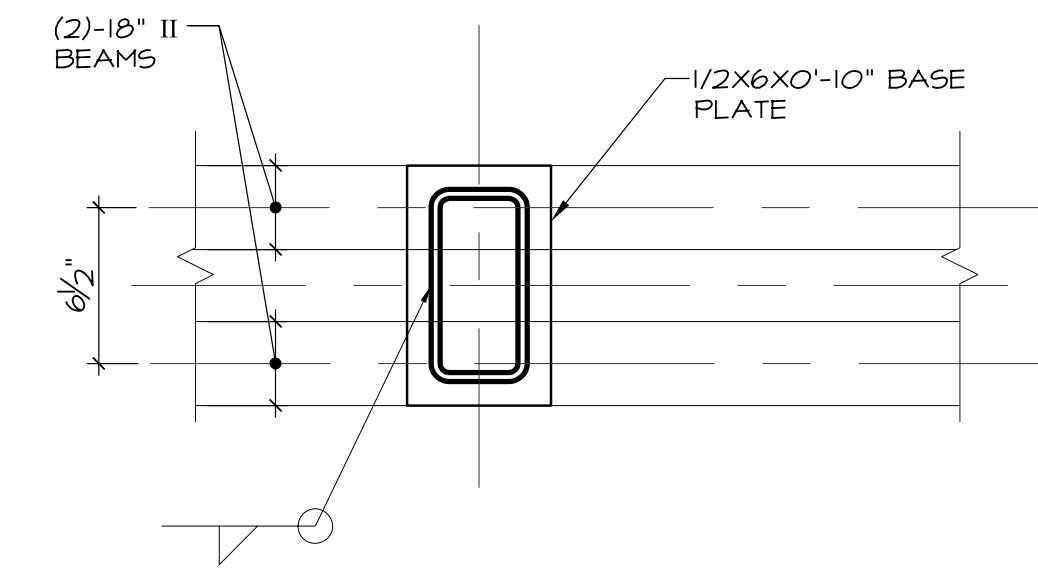
SEQUENCE:

1. SLOT T.C. (TERRA CUTTA CLAY TILE) WALL FOR 4 COLUMNS AND MID POINT LOCATIONS.
2. INSTALL 2 INNER COLUMNS (A) GROUT IN PLACE TO UNDERSIDE ORNAMENTAL CAST STONE
3. INSTALL TEMP SHORES (X) WITH 1/2" Ø SCREW AND PLATE AT TOP. LOCATE IN CENTER TO CLEAR OUTER LINTEL PIECE.
4. SLOT T.C. TO SET OUTER COLUMNS (B) AND LINTEL (C) (SEE SECTION 2/54) H554X4X3/8 AND GROUT TO MASONRY. ADD SUPPORT ANGLE TO INNER COLUMNS (A).
5. REMOVE T.C. AND SHORES (X) INSTALL INNER LINTEL (D). GROUT TO ORNAMENTAL CAST STONE.

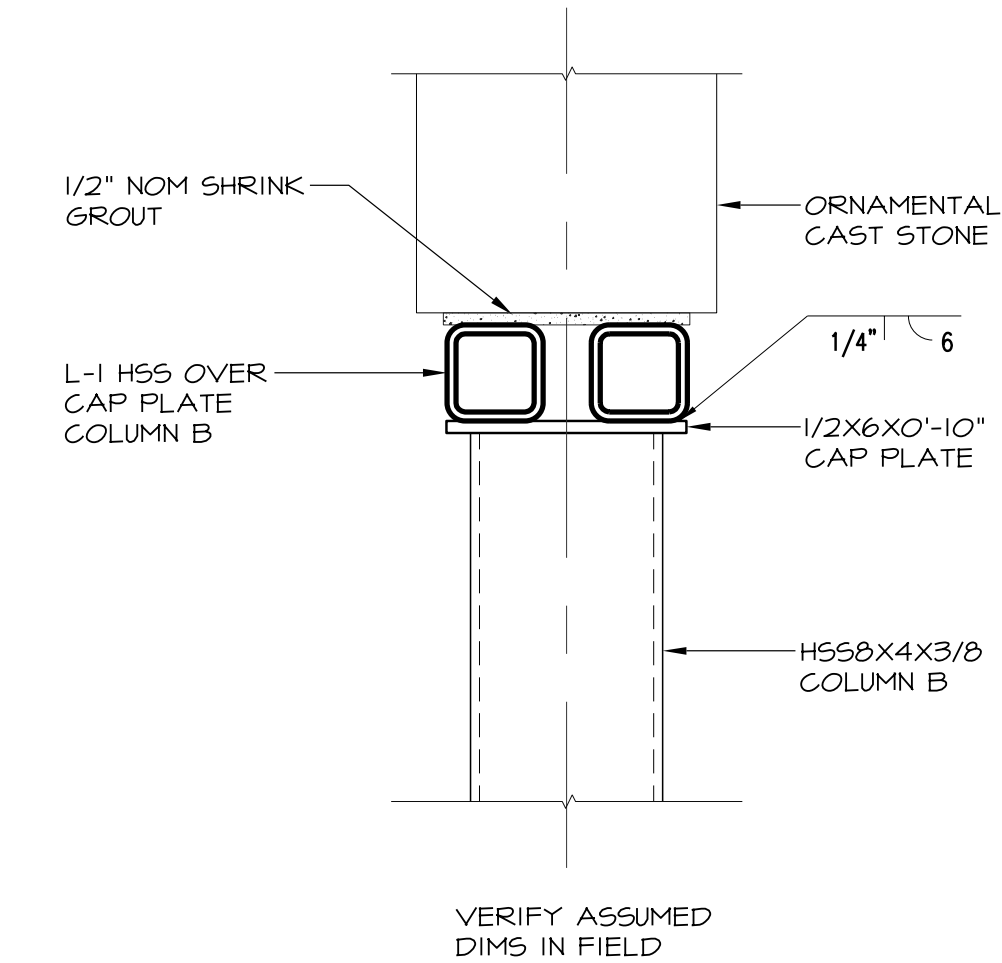
| LEGEND  |   |
|---------|---|
| MARK    | DESCRIPTION                                     |
| (A) (B) | H558X4X3/8 COLUMNS                              |
| L-1     | (2) H554X4X3/16 (INNER & OUTER) LINTELS (C) (D) |



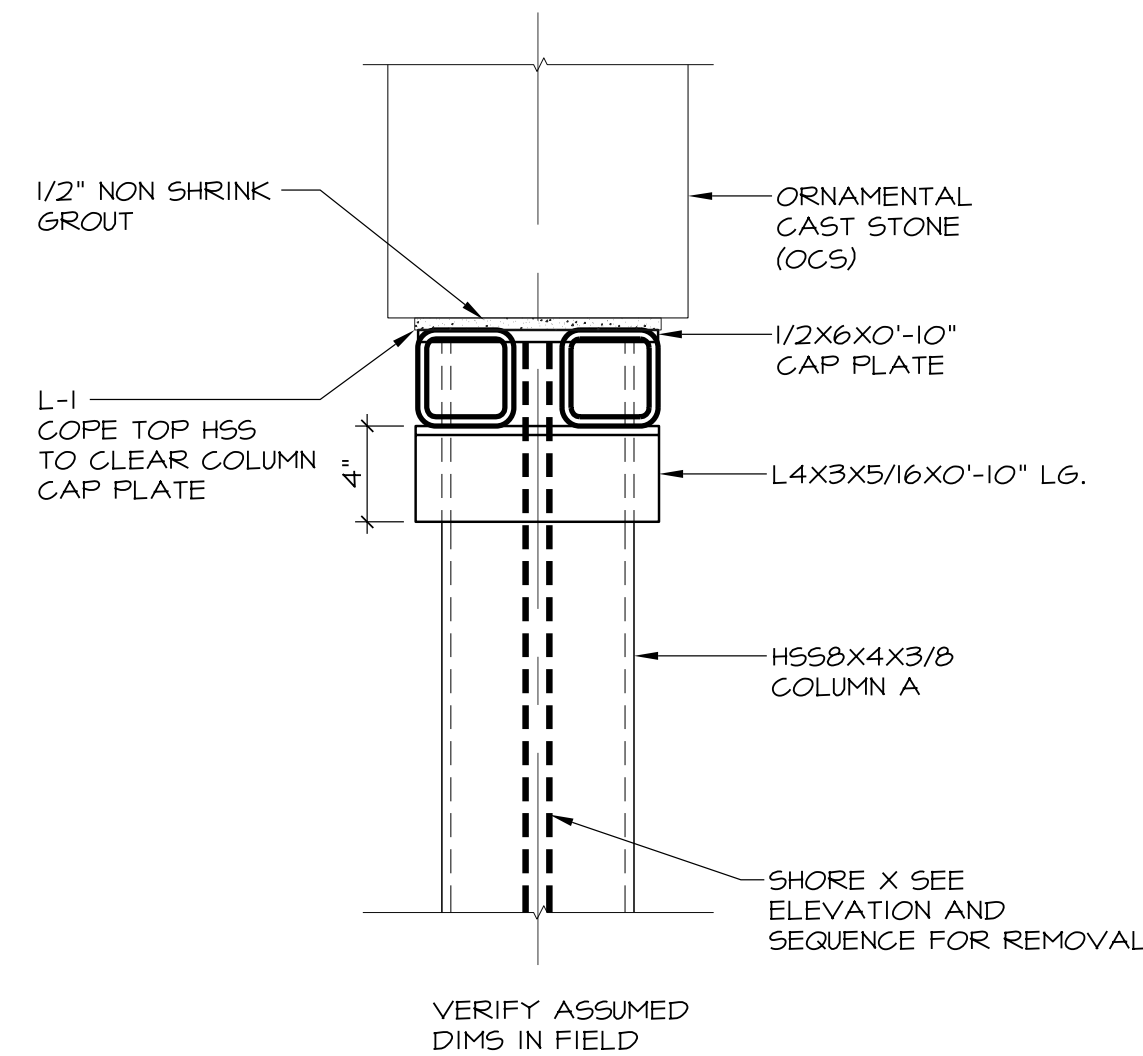
**ELEVATION**  
Scale: 1/2" = 1'-0" (A)



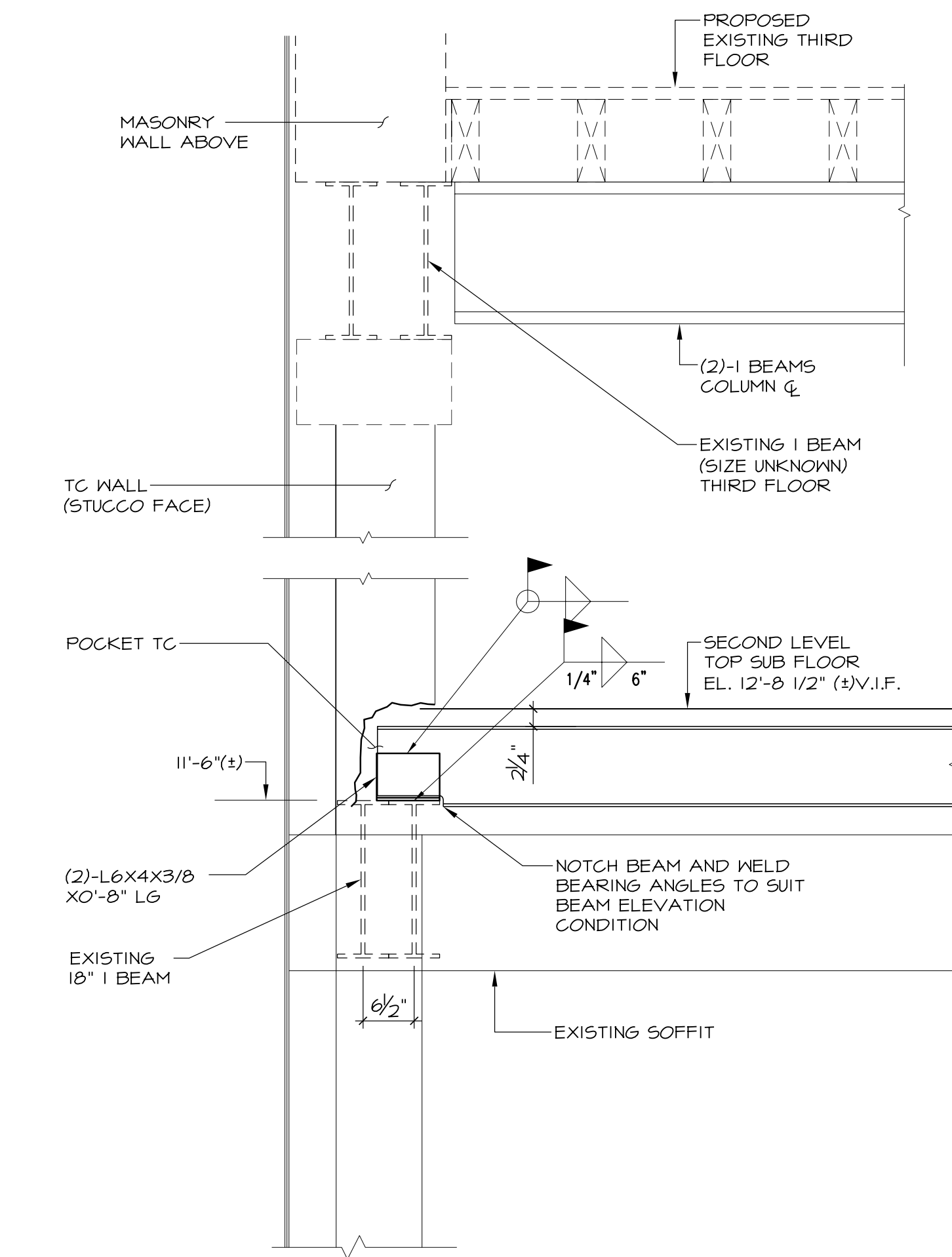
**DETAIL**  
Scale: 1/2" = 1'-0" (B)



**SECTION**  
Scale: 1/2" = 1'-0" (1)



**SECTION**  
Scale: 1/2" = 1'-0" (2)



**SECTION**  
Scale: 3/4" = 1'-0" (3)

| NO. | REFERENCE                 | DATE     |
|-----|---------------------------|----------|
| 1   | BUILDING PERMIT (PHASE 1) | 02-06-09 |
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**JOB**  
 MID-BLOCK DEVELOPMENT  
 91 CHURCH STREET  
 NEW HAVEN, CONNECTICUT 06510

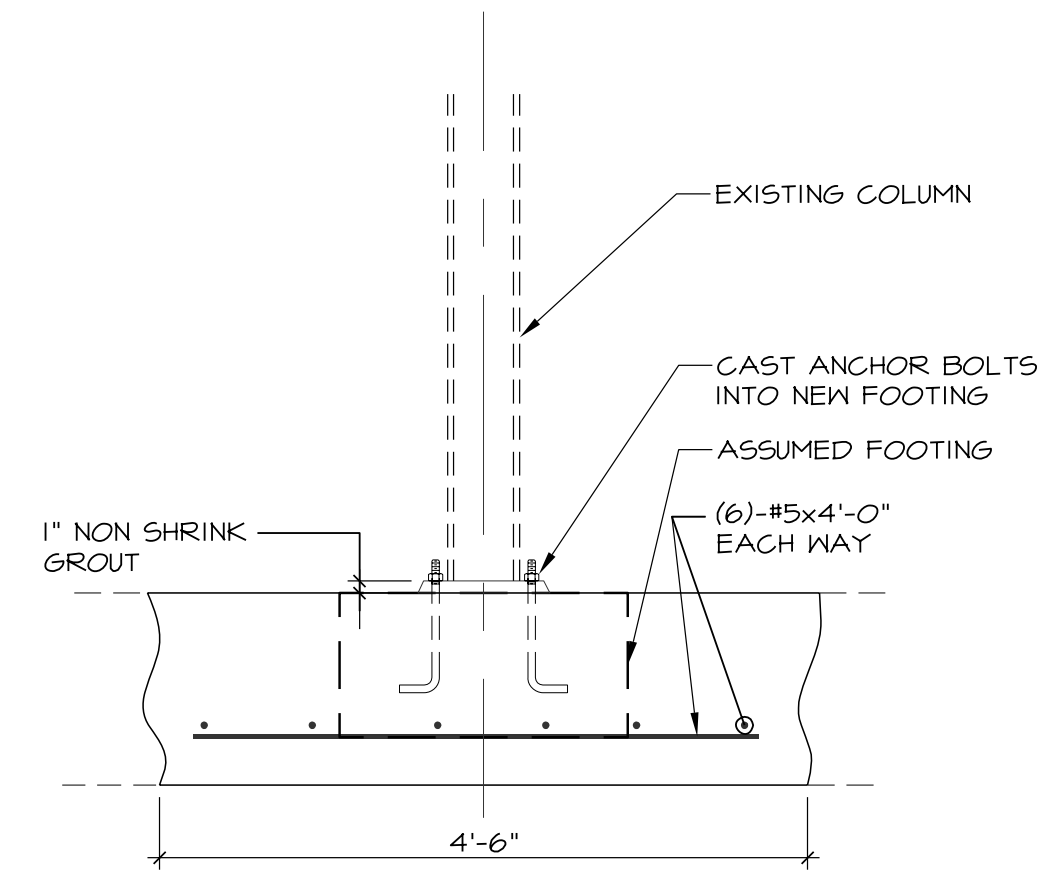
**TITLE OF SHEET**  
 ELEVATION AT CHURCH ST.

**JOB NUMBER** 07201      **SHEET NUMBER**

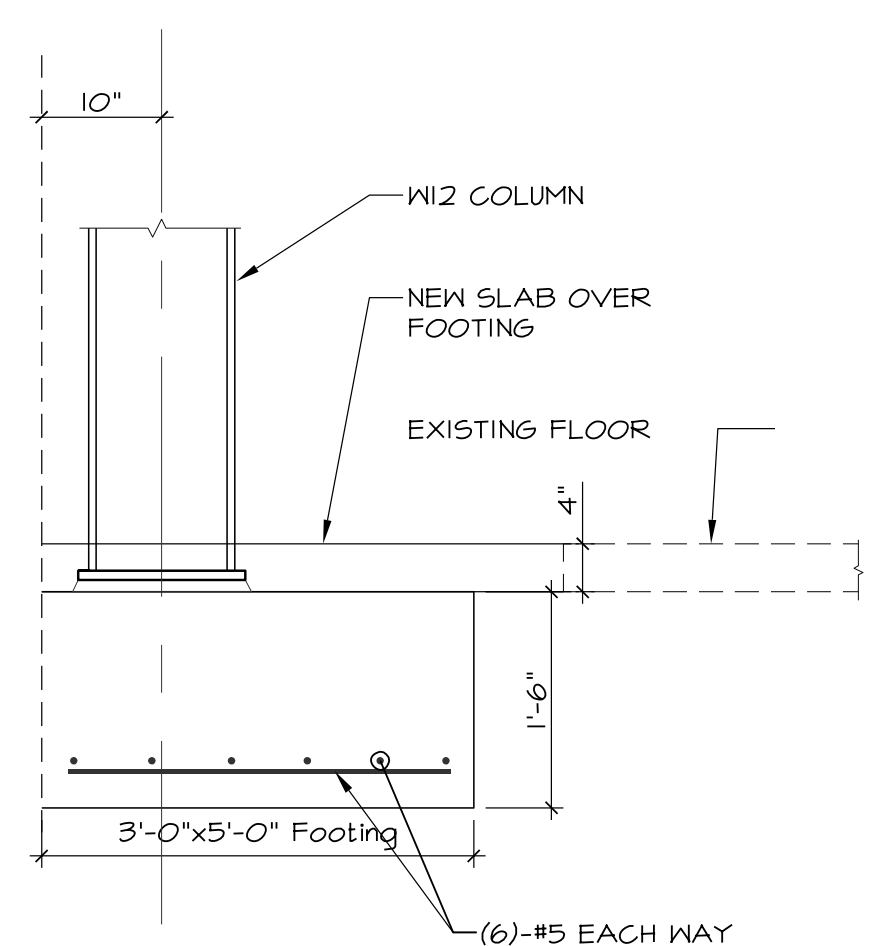
**STAGE**  
 PRELIMINARY

**DATE**  
 9/3/08

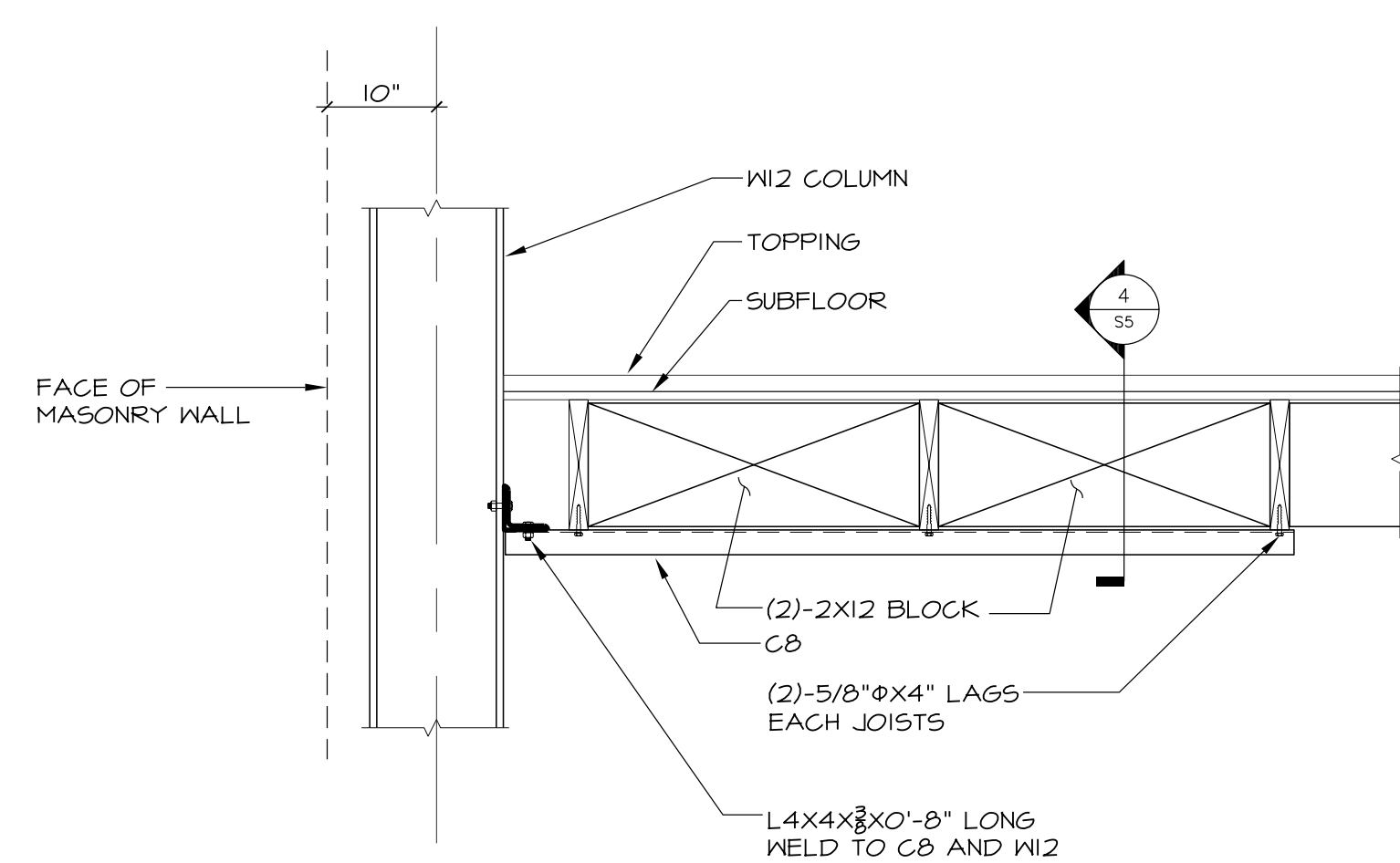
**S4**



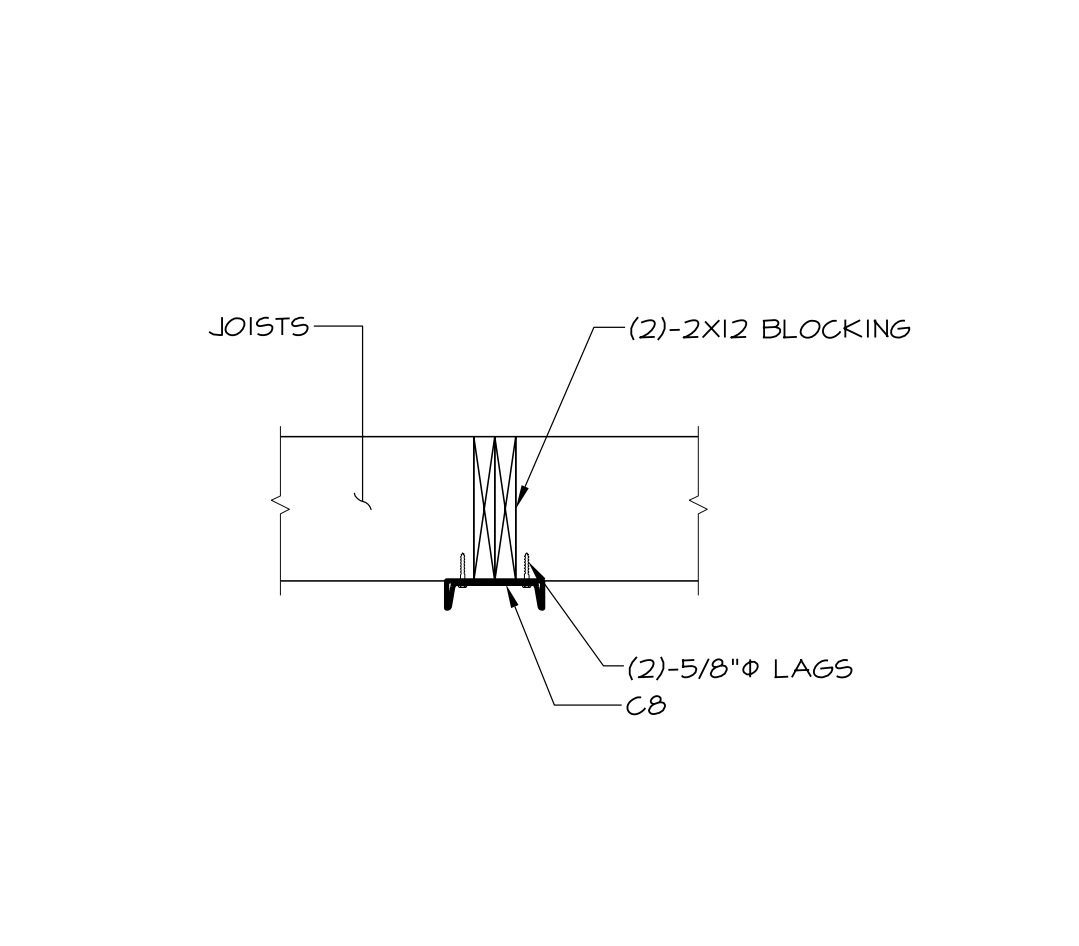
**SECTION 1**  
Scale: 3/4"=1'-0"



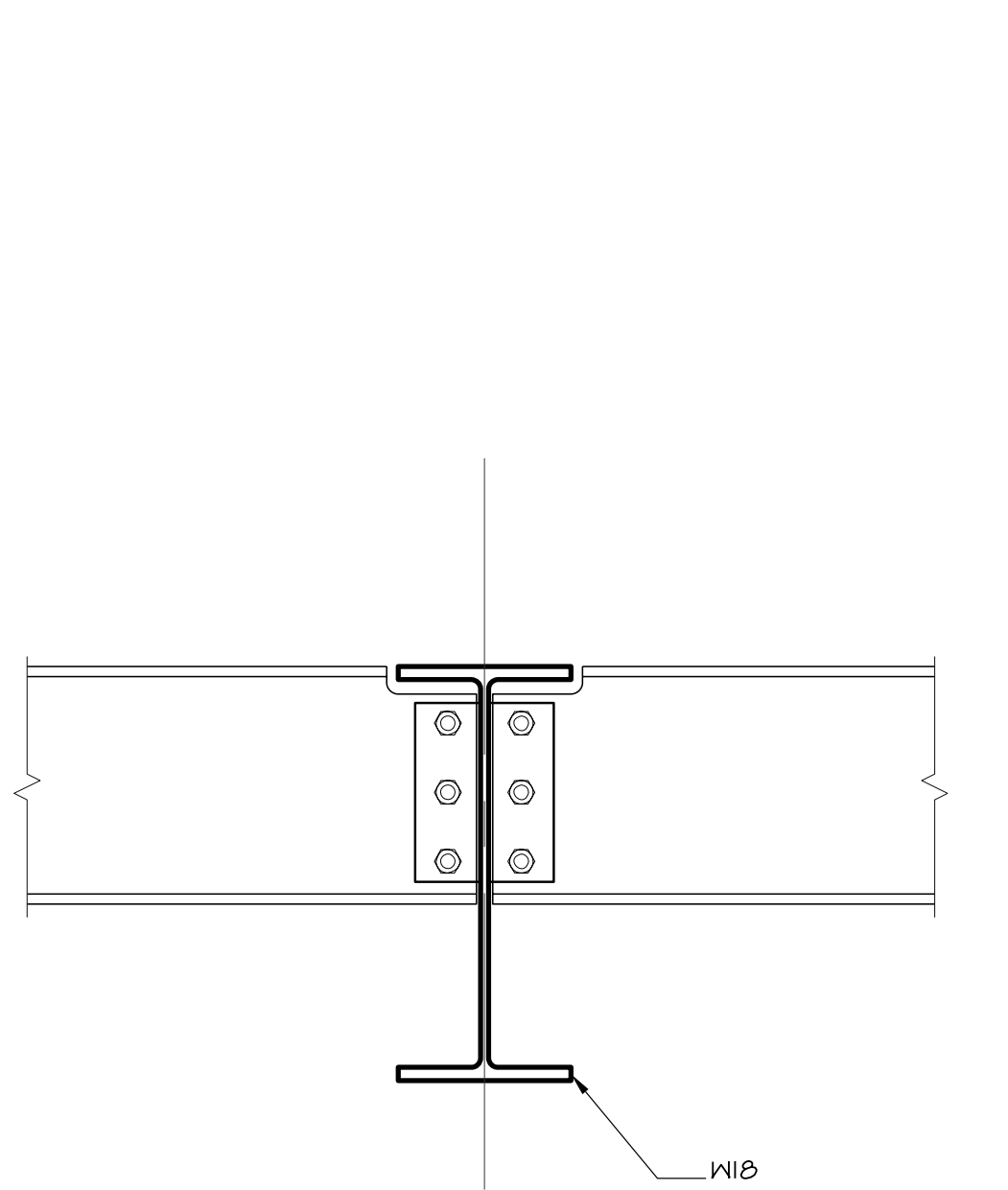
**SECTION 2**  
Scale: 3/4"=1'-0"



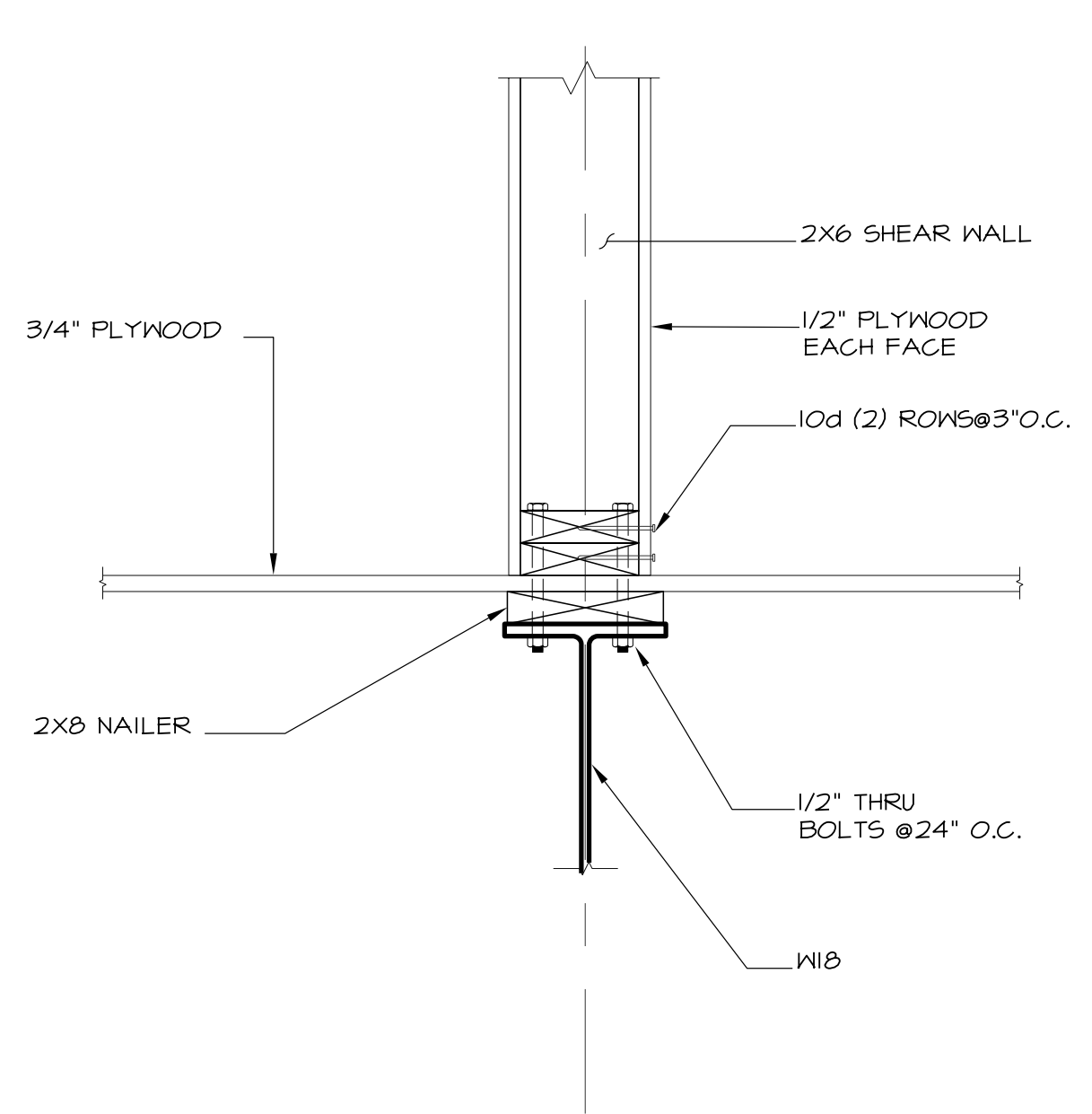
**SECTION 3**  
Scale: 3/4"=1'-0"



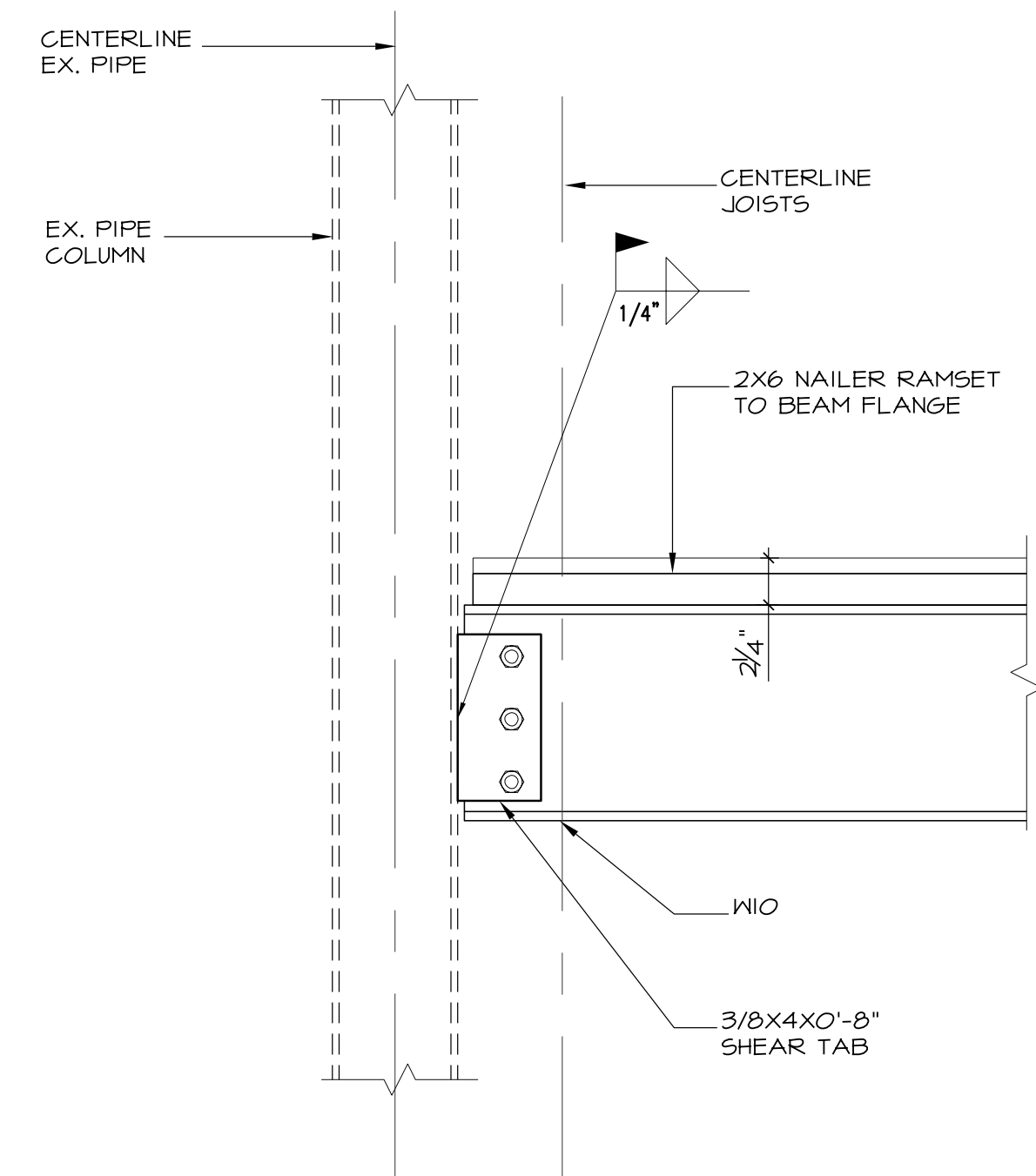
**SECTION 4**  
Scale: 3/4"=1'-0"



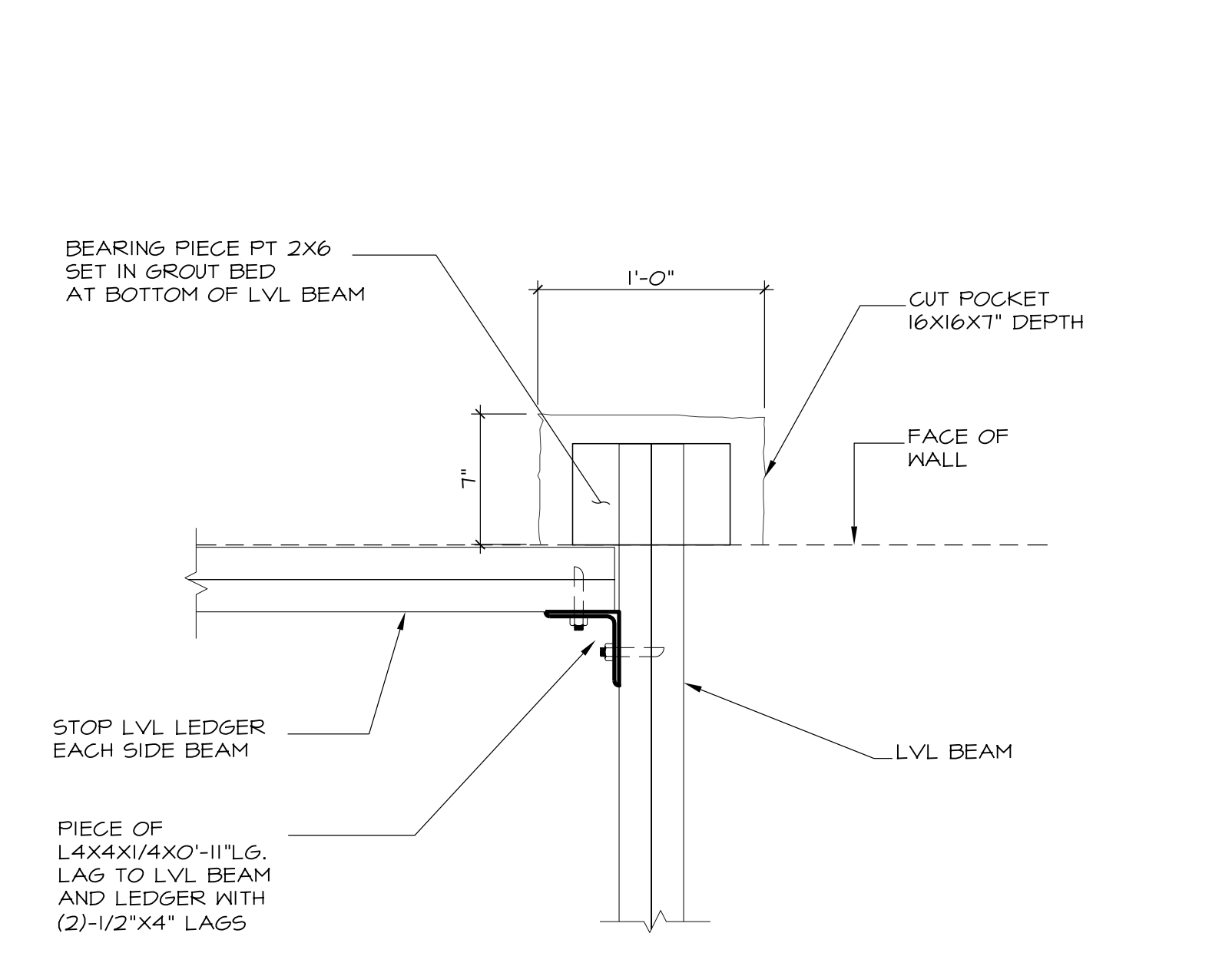
**SECTION 5**  
Scale: 1 1/2"=1'-0"



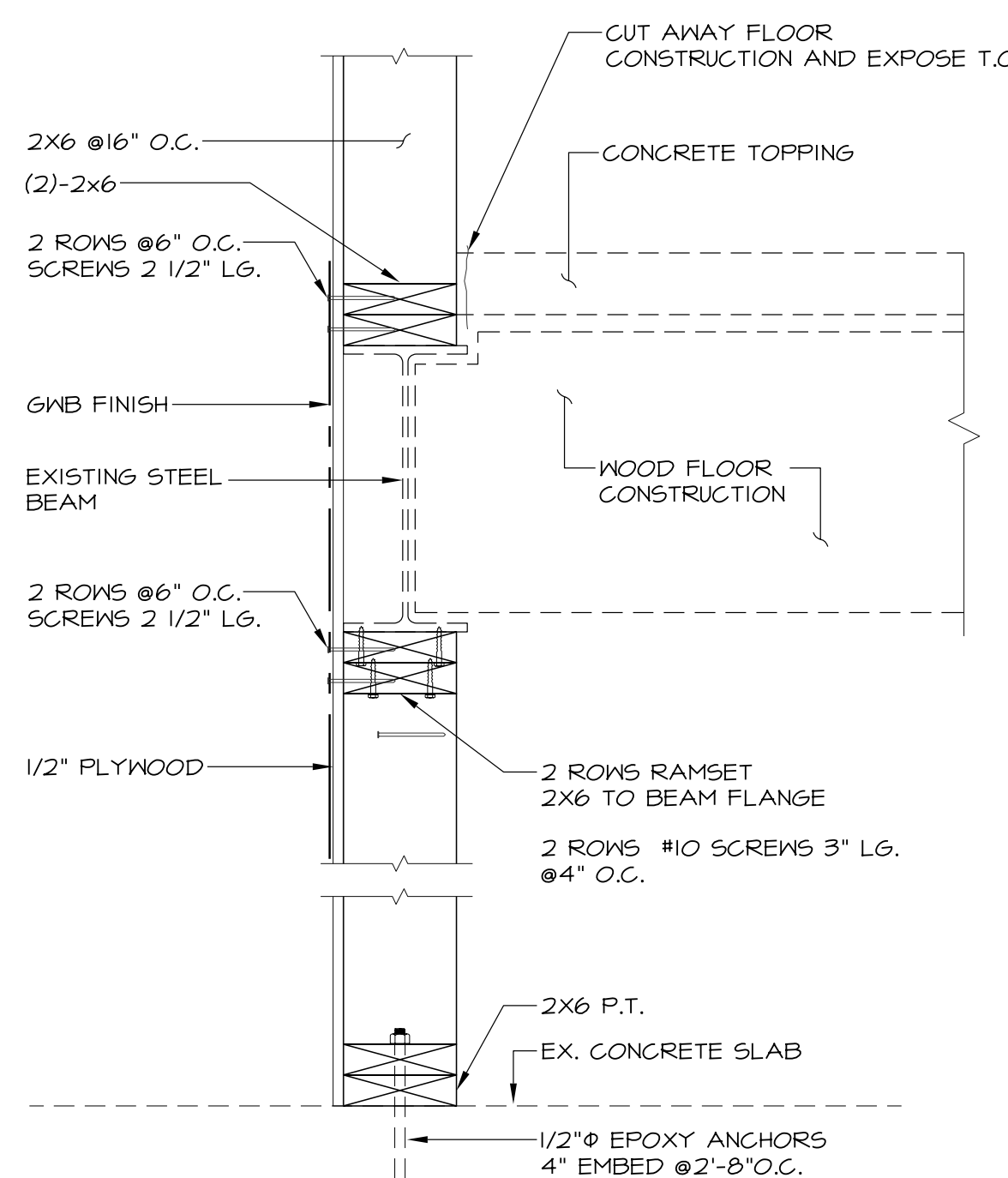
**SECTION 6**  
Scale: 1 1/2"=1'-0"



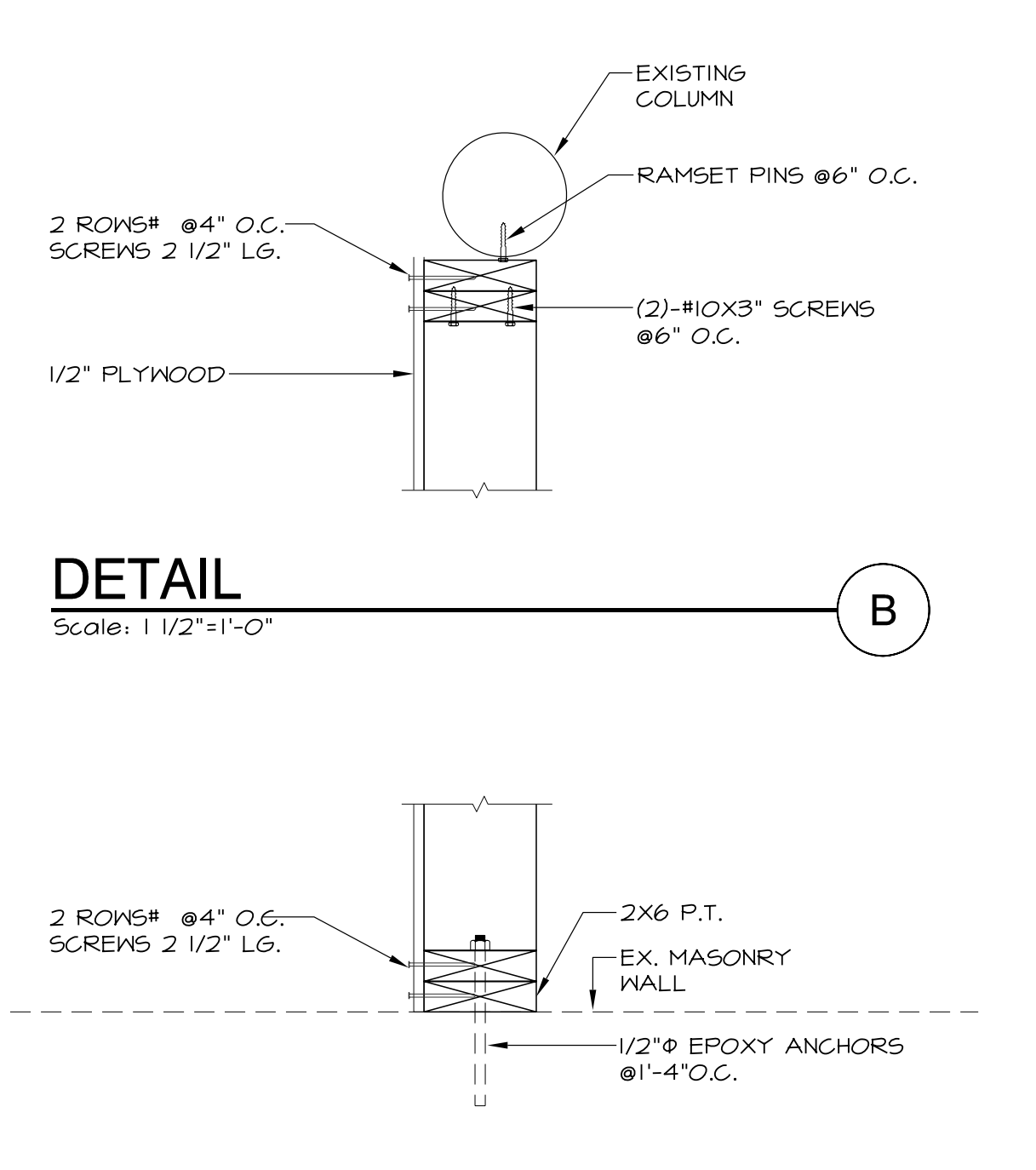
**SECTION 7**  
Scale: 1 1/2"=1'-0"



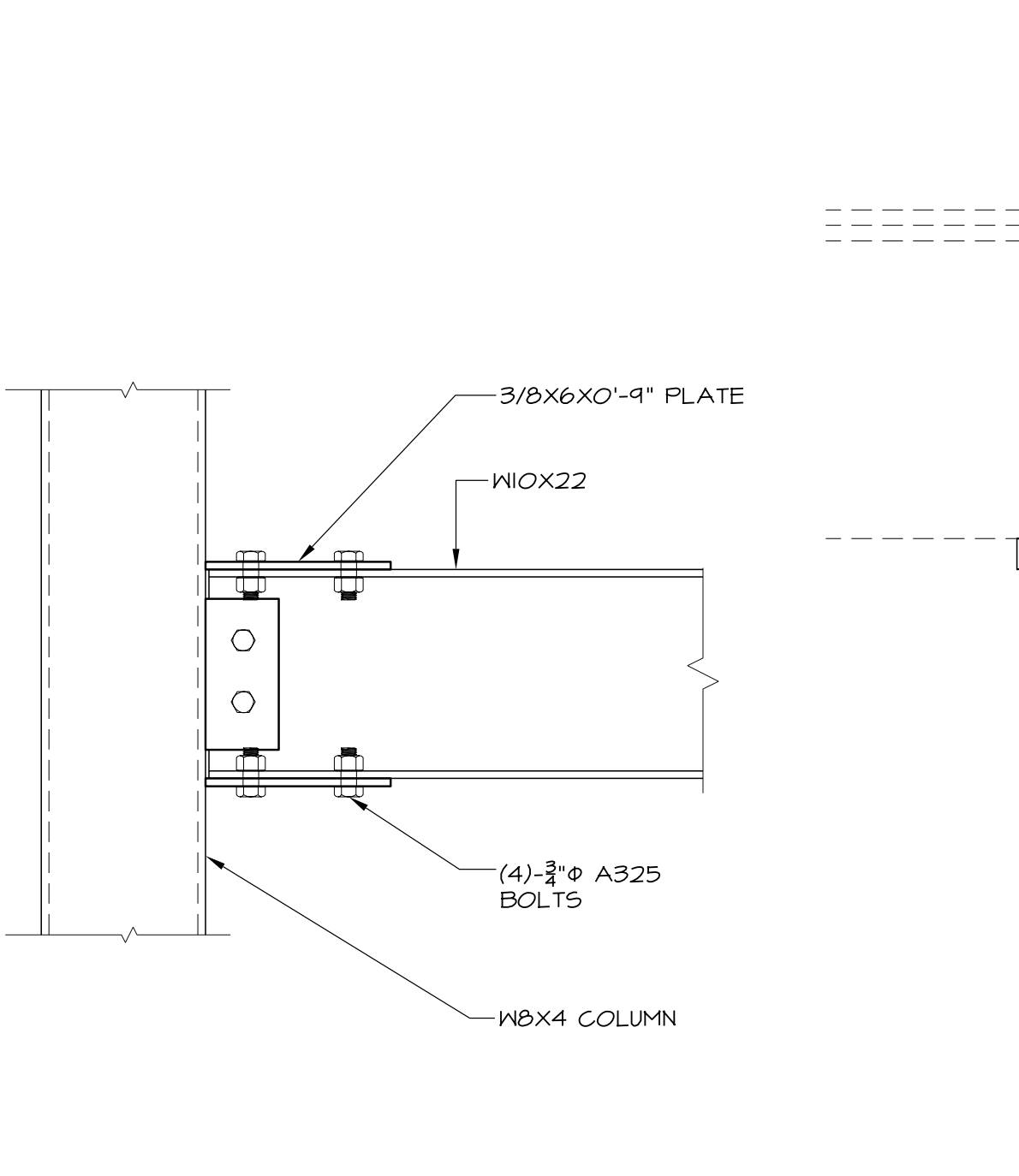
**DETAIL A**  
Scale: 1 1/2"=1'-0"



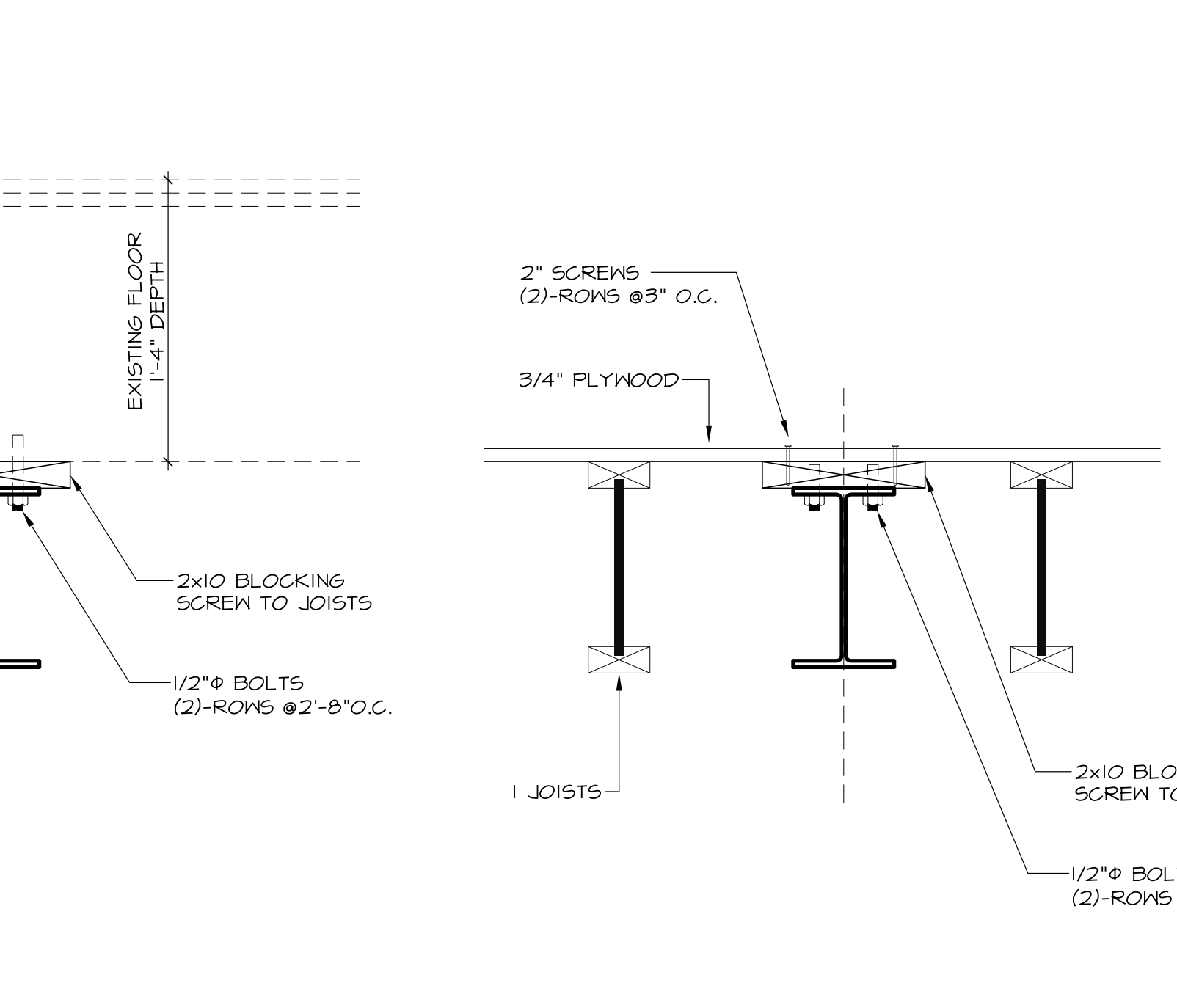
**SECTION 8**  
Scale: 1 1/2"=1'-0"



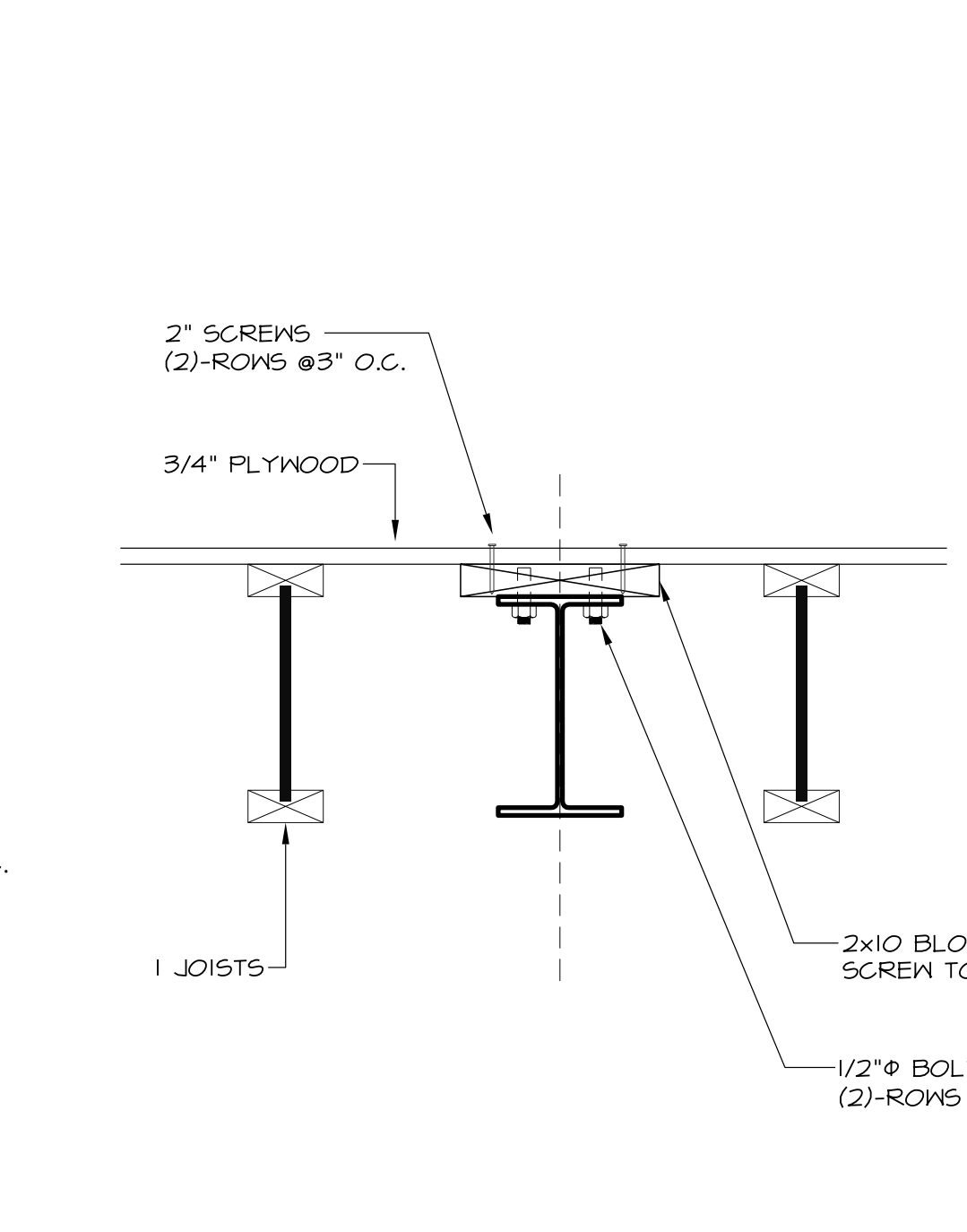
**DETAIL B**  
Scale: 1 1/2"=1'-0"



**SECTION 9**  
Scale: 1 1/2"=1'-0"



**SECTION 10**  
Scale: 1 1/2"=1'-0"



**SECTION 11**  
Scale: 1 1/2"=1'-0"

| NO. | REFERENCE                 | DATE     |
|-----|---------------------------|----------|
| 1   | BUILDING PERMIT (PHASE I) | 02-06-09 |
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**JOHN A. MATTHEWS A.I.A.**  
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**JOB**  
 MID-BLOCK DEVELOPMENT  
 91 CHURCH STREET  
 NEW HAVEN, CONNECTICUT 06510  
**TITLE OF SHEET**  
 SECTIONS  
**JOB NUMBER** 07201 **SHEET NUMBER**  
**STAGE** PRELIMINARY **S5**  
**DATE** 9/3/08



## BUILDING CODE INFORMATION

THIS BUILDING IS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AND THE 2005 CONNECTICUT SUPPLEMENT. THIS CODE IS TO BE STRICTLY ENFORCED AND CONSIDERED IN ACCORDANCE WITH THE USE GROUP CLASSIFICATION - MIXED OCCUPANCY / SEPARATED USES PER 302.3.2

U - MERCANTILE @ BASEMENT AND FIRST FLOOR  
R-2 RESIDENTIAL APARTMENTS @ SECOND & THIRD FLOORS  
FIRE SEPARATIONS ARE REQUIRED BETWEEN USES PER 302.3.2

CONSTRUCTION TYPE  
3B NONCOMBUSTIBLE UNPROTECTED

SPRINKLER PROTECTION  
100% COVERAGE AUTOMATIC SPRINKLER PROTECTION

MEETING AREA 13 WILL BE PROVIDED

BASEMENT  
1373 SF GROSS  
1278 SF RETAIL + 2045 SF STORAGE/SERVICES FOR BUILDING OWNER)

FIRST FLOOR  
3058 SF GROSS  
3151 SF GROSS (+ 228 SF BALCONY)

SECOND FLOOR  
1014 SF NET

THIRD FLOOR  
43 PERSONS

MEERCANTILE (TENANT) - BASEMENT @ 1278 SF / 20 =  
MERCANTILE - STORAGE (OWNER) @ BASEMENT @ 2045 SF / 300 = 7 PERSONS

M FIRST FLOOR @ 3058 SF / 20 = 153 PERSONS  
R-2 THIRD FLOOR @ 3151 SF / 200 = 16 PERSONS

NUMBER OF EXITS  
1 EXIT PER FLOOR (75' TRAVEL DISTANCE PER 1018.2)

BASEMENT  
2 EXITS PER FLOOR  
2 EXITS PER FLOOR

FIRST FLOOR  
1 EXIT PER APARTMENT & 1 EXIT PER FLOOR

THIRD FLOOR  
50' TRAVEL DISTANCE PER APARTMENT

EGRESS WIDTH PROVIDED  
44" MIN @ STAIRS PER SECT. 1009

TRAVEL DISTANCE PER TABLE 1015.1  
54' MIN. WITHIN APARTMENTS @ R-2

TRAVEL DISTANCE 250' MAX. ALLOWABLE @ U OCCUPANCY  
TRAVEL DISTANCE 250' MAX. ALLOWABLE @ R-2 OCCUPANCY

PER 1013.3 - COMMON PATH OF TRAVEL WILL NOT EXCEED 75'  
ACCESSIBILITY REQUIREMENTS AND ELEVATOR IS PROVIDED.

ACCESSIBILITY TO THE FIRST FLOOR IS REQUIRED AND IS PROVIDED  
ACCESSIBLE TOILET FACILITIES ARE REQUIRED AND ARE PROVIDED

ACCESSIBILITY TO THE SECOND AND THIRD FLOORS IS NOT REQUIRED  
AS PER 1107.7.2.2

FIRE RESISTANCE OF STRUCTURAL ELEMENTS PER TABLE 601 AND 602

STRUCTURAL FRAME  
0 HOUR

BEARING WALLS/EXTERIOR PARTY WALLS  
3 HOUR (PER 602 & 705.4)

BEARING WALLS/EXTERIOR NON-PARTY WALLS  
0 HOUR (PER 602)

BEARING WALLS/INTERIOR  
0 HOUR

NONBEARING WALLS/INTERIOR  
0 HOUR

FLOOR CONSTRUCTION  
0 HOUR

ROOF CONSTRUCTION  
0 HOUR

EXIT ACCESS CORRIDOR  
0 HOUR (MERCANTILE) 0.5 HOUR (RESIDENTIAL) PER TABLE 1016.1

TEMP. SEPARATION WALL (VERTICAL)  
0.5 HOUR - RESIDENTIAL PER 703.2 (SECTION 2)

EXIT ENCLOSURE (VERTICAL)  
1 HOUR

SOUND TRANSMISSION  
1 HOUR

SEPARATION SOUND PER 1207.2 SHALL BE 50 W/LF PER WALLS, PARTITIONS & PARTITIONS

STAIRWAY SOUND PER 1207.3 SHALL BE 50 W/LF PER STAIRWAY

STRUCTURE - Borne SOUND PER 1207.3 SHALL BE 50 W/LF PER FLOOR CEILING ASSEMBLY

NOTE: MECHANICAL & ELECTRICAL ENGINEERING WILL BE DESIGN-BUILD BY THE GENERAL CONTRACTOR WHO WILL ALSO BE RESPONSIBLE FOR IMPLEMENTING THE DESIGN AND PROCURING ALL RELATED PERMITS.

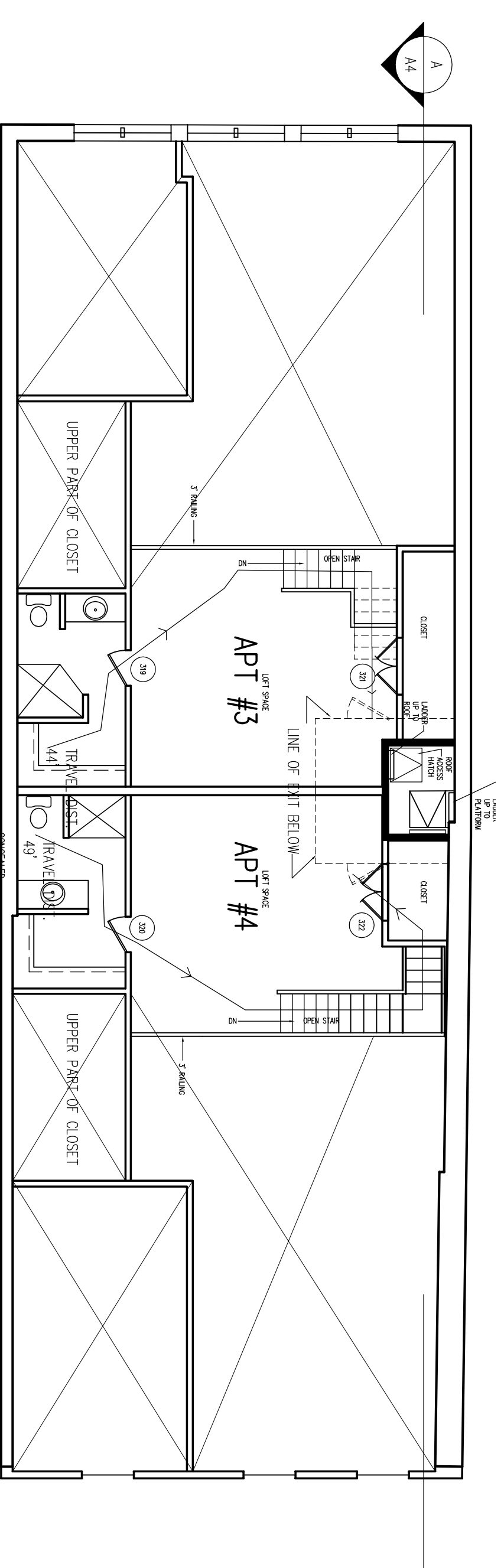
## DRAWING INDEX

### ARCHITECTURAL

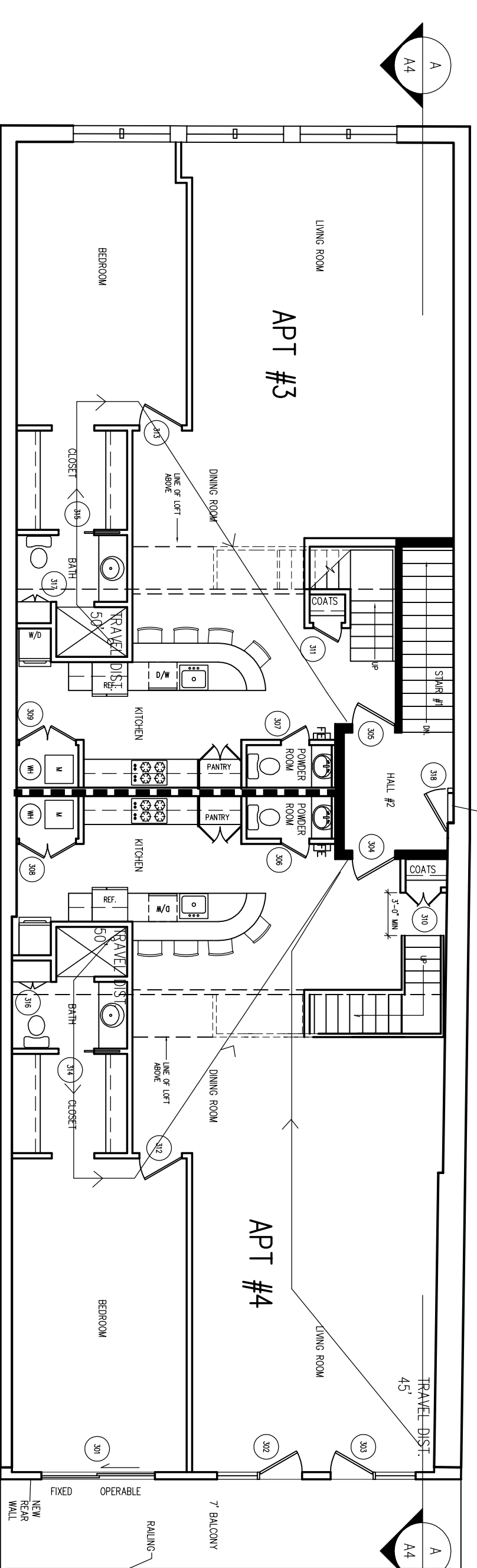
- LSP...LIFE SAFETY PLAN & BUILDING CODE INFORMATION
- CIR...PHASE 2 SITE PLAN
- A1...BASEMENT AND FIRST FLOOR PLAN
- A2...SECOND FLOOR PLAN AND WALL TYPE SCHEDULE
- A3...THIRD FLOOR AND LOFT PLAN
- A4...BUILDING SECTION
- A5...BUILDING ELEVATIONS
- A6...DOOR SCHEDULE & DETAILS; HC TOILET PLANS & ELEVATIONS

### STRUCTURAL

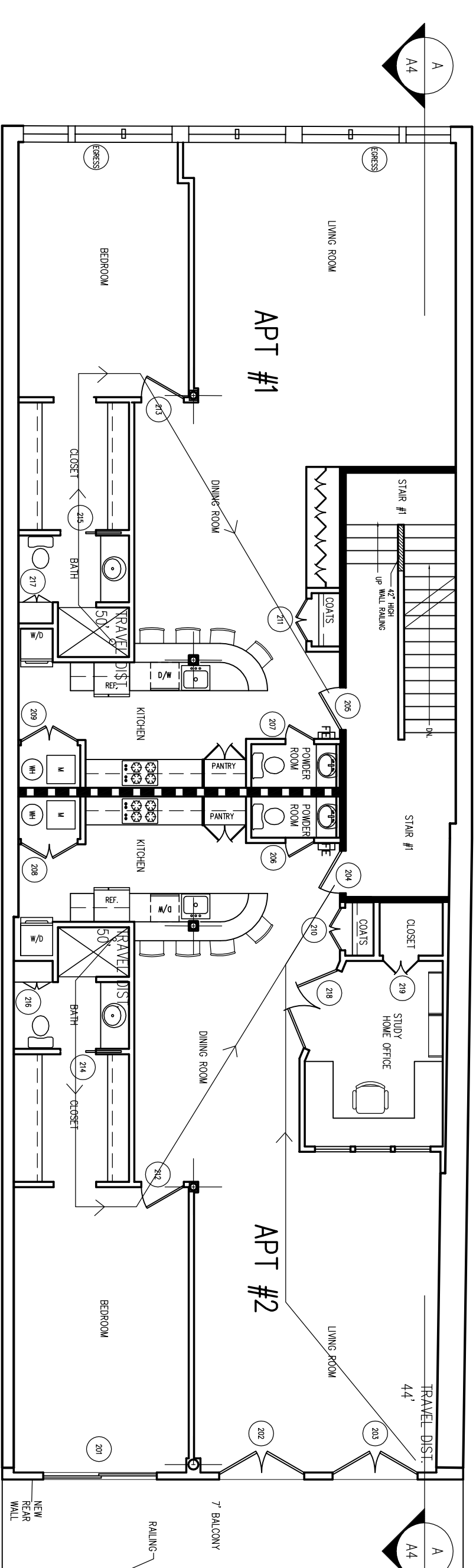
- S1...FOUNDATION AND FIRST FLOOR PLAN
- S2...PROPOSED SECOND LEVEL FRAMING PLAN
- S3...PROPOSED THIRD FLOOR & LOFT FRAMING PLANS
- S4...ELEVATION AT CHURCH ST.
- S5...SECTIONS
- S6...GENERAL NOTES



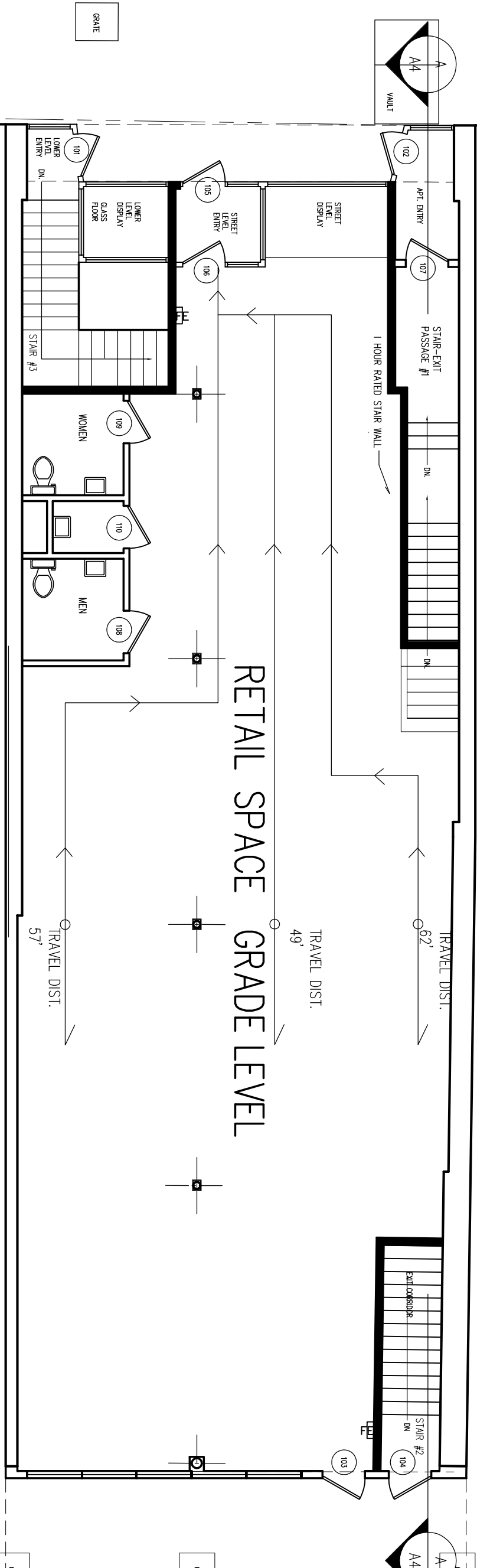
LOFT



THIRD FLR



SECOND FLR



FIRST FLR

## GENERAL NOTES

### LIFE SAFETY LEGEND

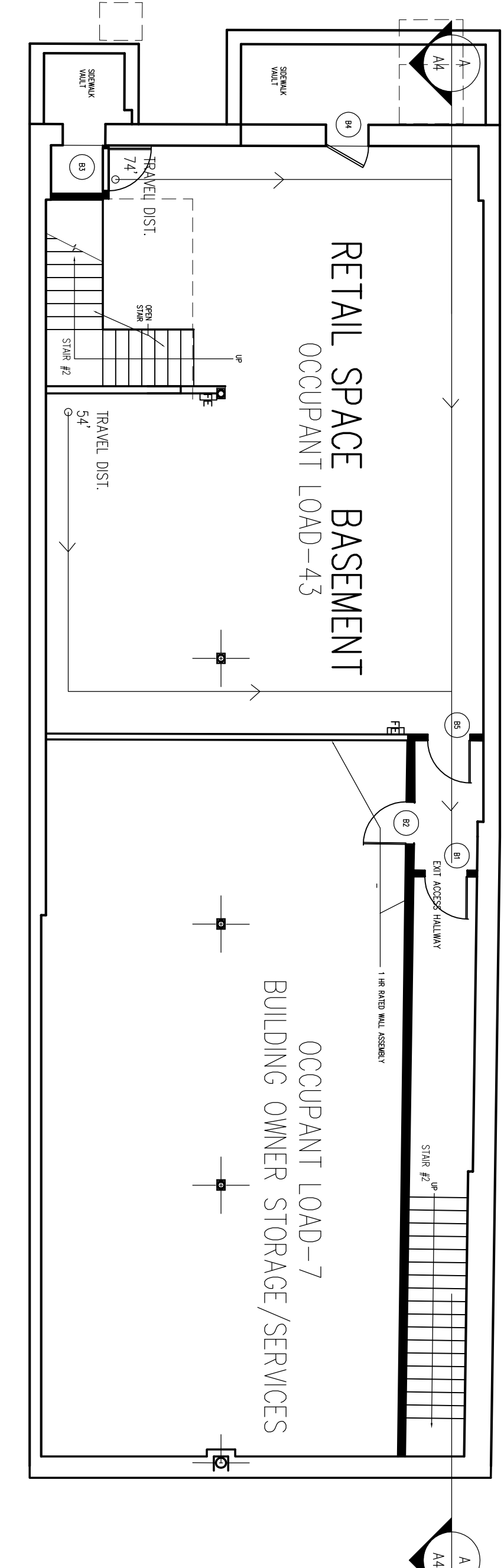
- ☉ SINGLE FACED EXIT LIGHT
- ☉ SINGLE FACED EXIT LIGHT WITH DIRECTIONAL ARROWS
- ☉ EMERGENCY LIGHT / EXIT LIGHT COMBINATION
- ☉ RECESSED REMOTE EMERGENCY EGRESS LIGHT
- ☉ FIRE ALARM HORN-STROBE COMBINATION
- ☉ FIRE ALARM HORN-STROBE COMBINATION
- ☉ FIRE ALARM HORN-STROBE COMBINATION
- ☉ FIRE ALARM HORN-STROBE COMBINATION
- ☉ FIRE ALARM HORN-STROBE COMBINATION
- ☉ FIRE ALARM HORN-STROBE COMBINATION
- ☉ HEAT SENSITIVE DETECTOR
- ☉ WALL MOUNTED EMERGENCY LIGHT
- ☉ CEILING MOUNTED EMERGENCY LIGHT
- ☉ FIRE EXTINGUISHER
- ☉ PATH/DIRECTION OF EMERGENCY EGRESS
- ☉ FIRE ALARM CONTROL PANEL
- ☉ EMERGENCY EGRESS WALL MOUNTED LIGHT
- ☉ LIGHT/BUZZER (CALL FOR AID ALARM)
- ☉ FIRE ALARM STROBE
- ☉ CALL FOR AID
- ☉ H/R RATED WALL
- ☉ 2x4 FLUORESCENT NIGHT LIGHT

- ☐ 30 MIN WALL REQUIRED/H/R RATED WALL PROVIDED
- ☐ 2x4 FLUORESCENT NIGHT LIGHT

| NO. | REFERENCE               | DATE     |
|-----|-------------------------|----------|
| 1   | REVISED TRAVEL DISTANCE | 12/10/08 |

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**MERCANTILE**  
**(TOTAL OCC. LOAD 50)**  
**LIFE SAFETY PLAN**  
**WITH BUILDING CODE INFORMATION**  
 JOB NUMBER \_\_\_\_\_ SHEET NUMBER \_\_\_\_\_  
 STAGE PERMITS  
 DATE 2/6/09  
**LSP**



BSMT  
FLR PLANS @ 1/8" = 1'-0"

### BUILDING CODE INFORMATION

THIS BUILDING IS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AND THE 2005 CONNECTICUT SUPPLEMENT. THIS BUILDING IS TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE 2005 CONNECTICUT FIRE SAFETY CODE GUIDEBOOK.

- CHANGED → USE GROUP CLASSIFICATION - MARKED OCCUPANCY / SEPARATED USES PER 302.3.2
- CHANGED → R-2 BUSINESS @ BASEMENT AND FIRST FLOOR
- CHANGED → R-2 RESIDENTIAL APARTMENTS @ SECOND & THIRD FLOORS
- CHANGED → FIRE SEPARATIONS ARE REQUIRED BETWEEN USES PER 302.3.2
- CHANGED → OCCUPANCY CLASSIFICATION - UNPROTECTED
- CHANGED → SPRINKLER PROTECTION
- CHANGED → MEETING NFPA 13 WILL BE PROVIDED

BASEMENT 3323 SF GROSS

FIRST FLOOR 3368 SF GROSS  
 SECOND FLOOR 3151 SF GROSS (+ 228 SF BALCONY)  
 THIRD FLOOR 1041 SF GROSS (+ 228 SF BALCONY)  
 LOFT 429 SF GROSS

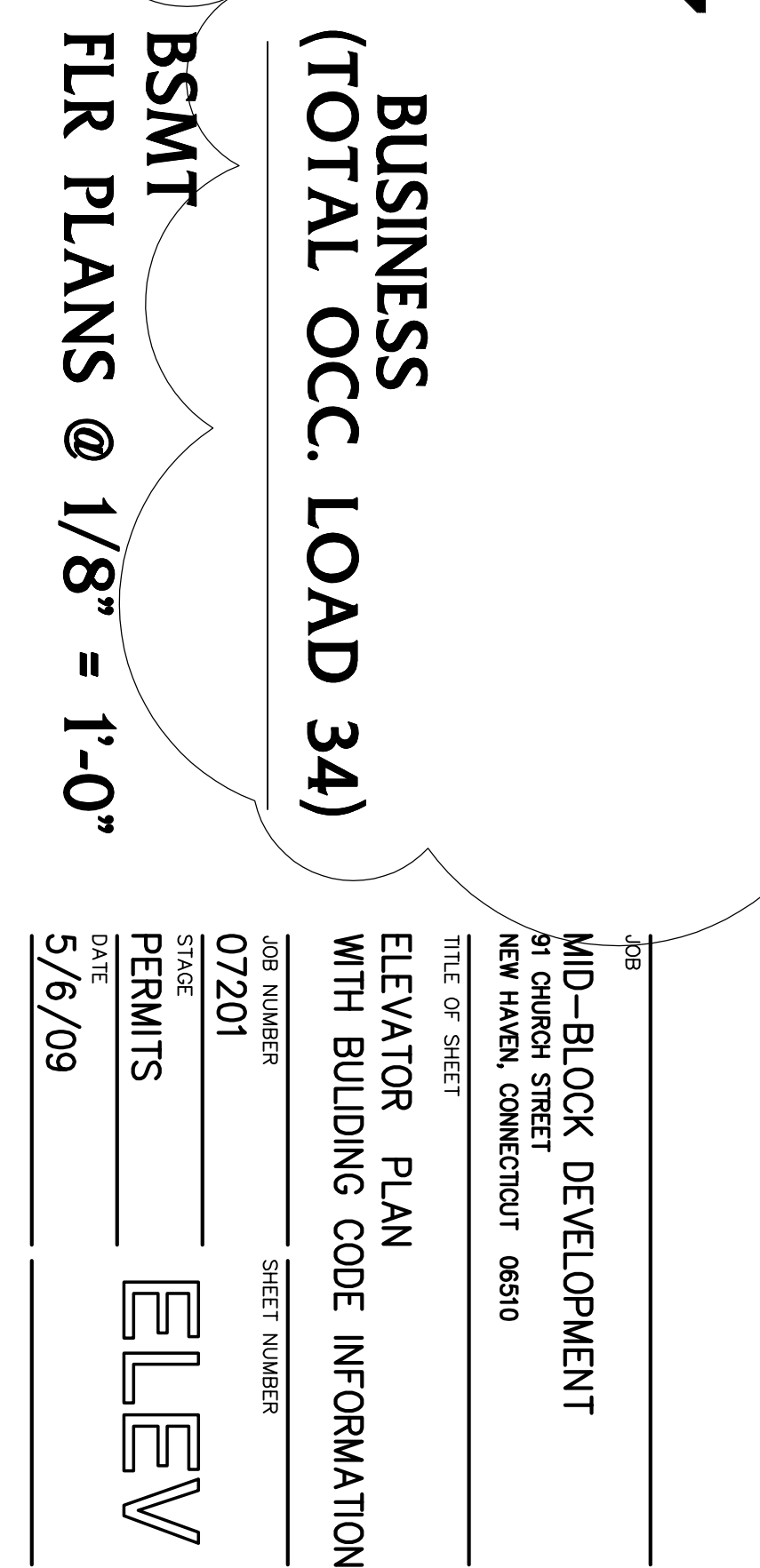
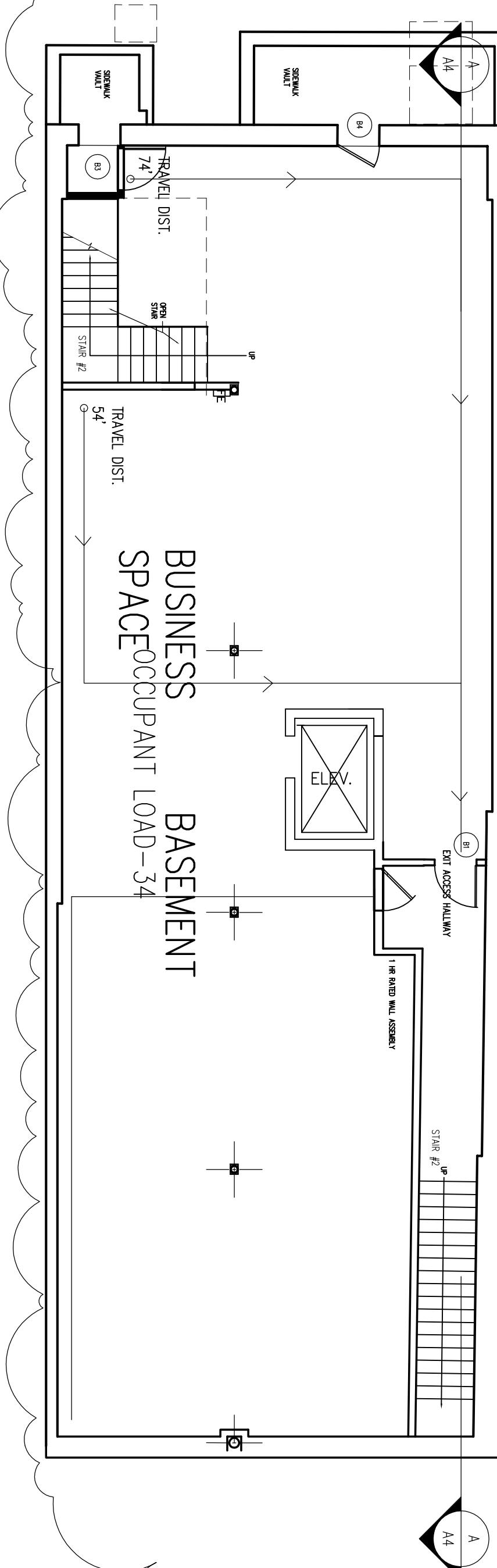
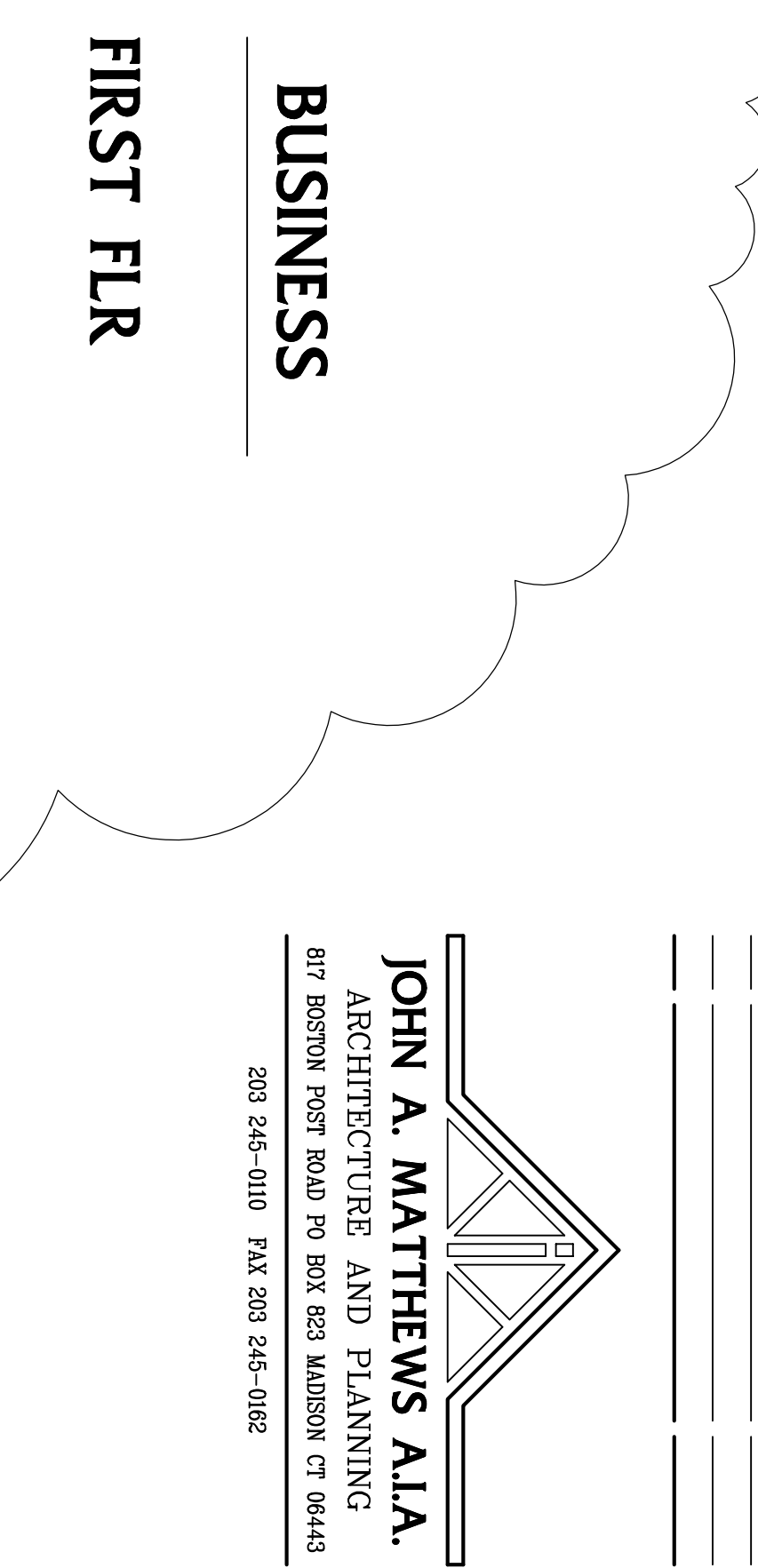
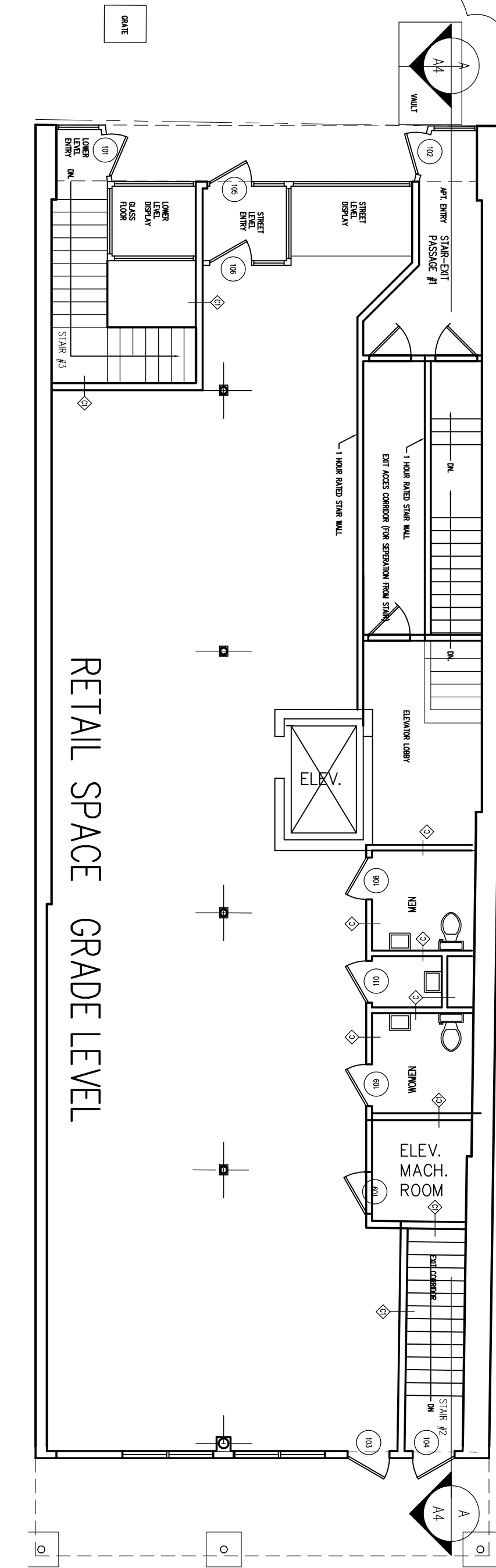
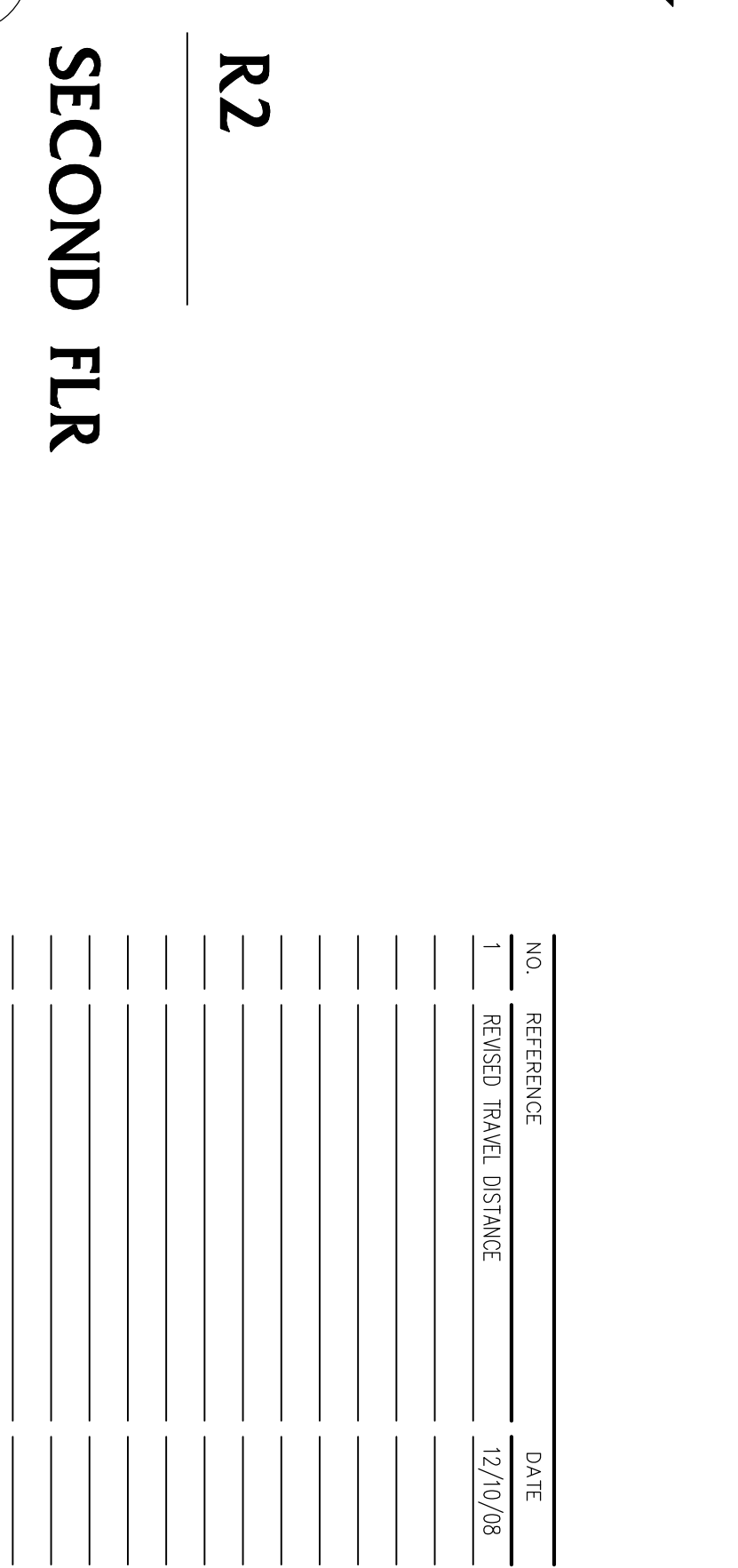
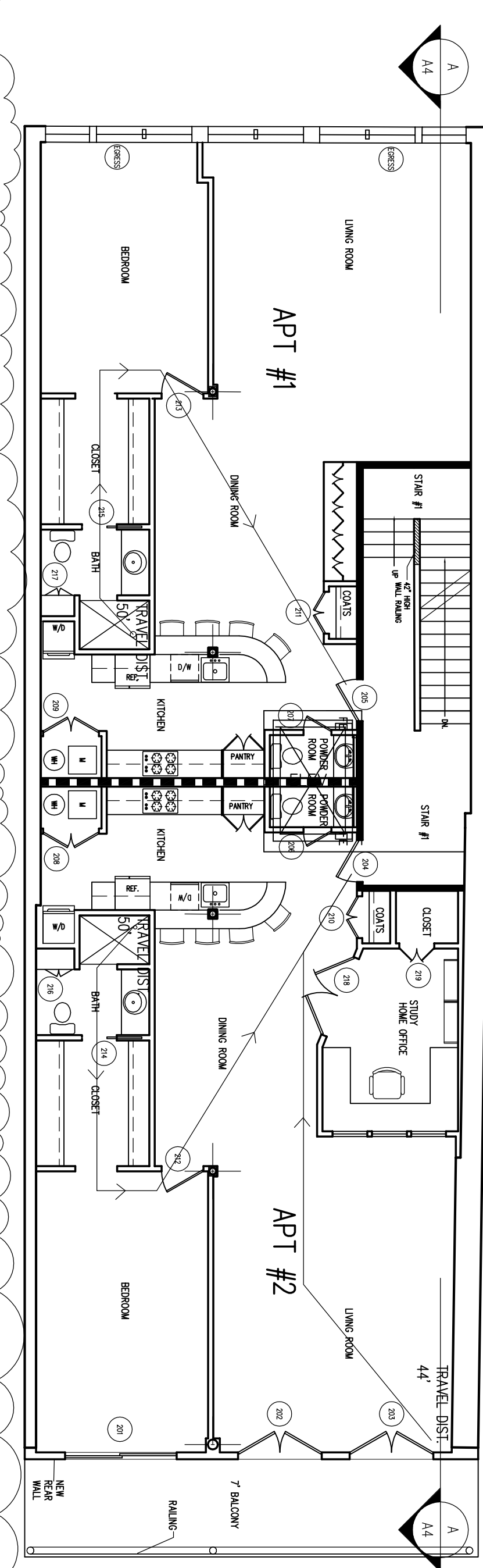
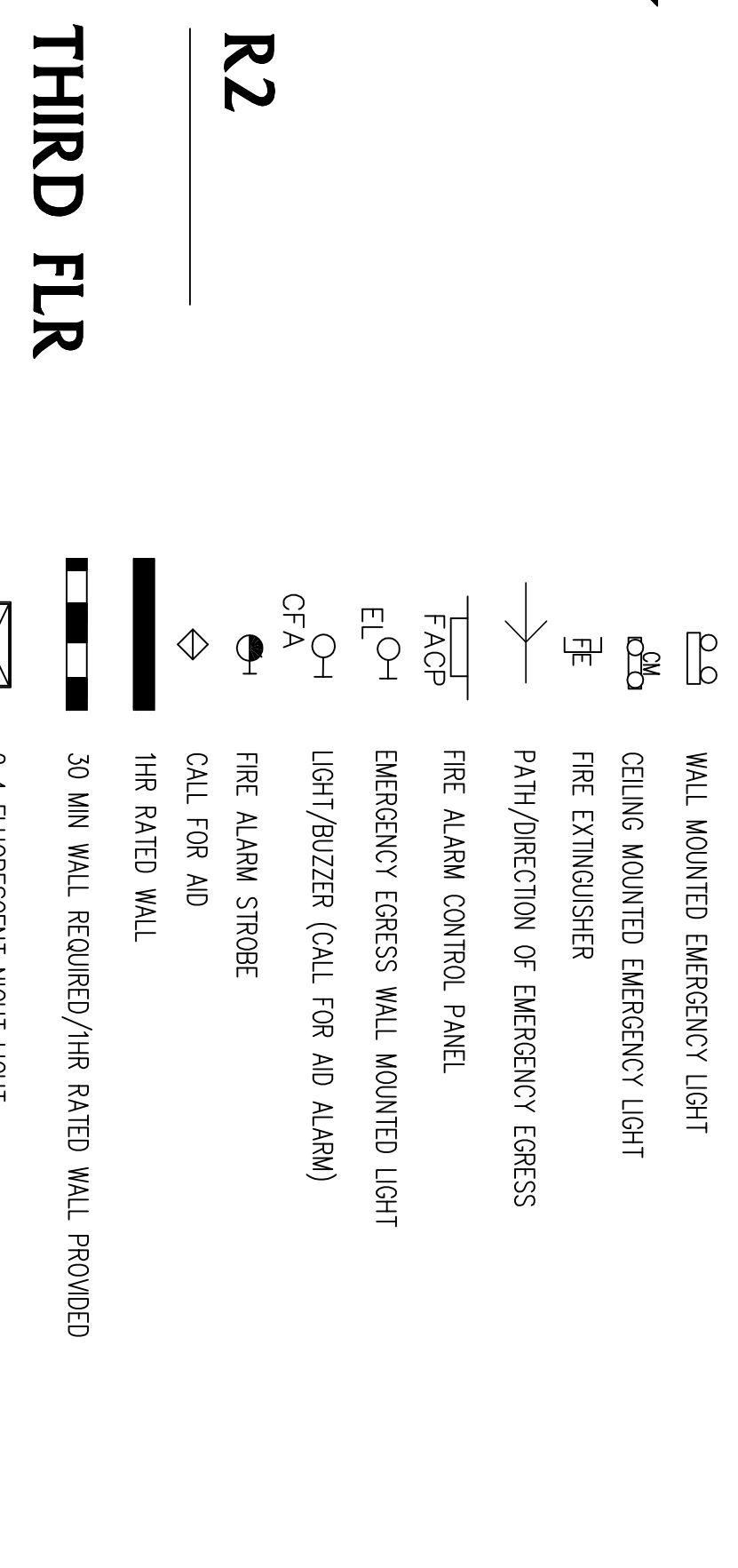
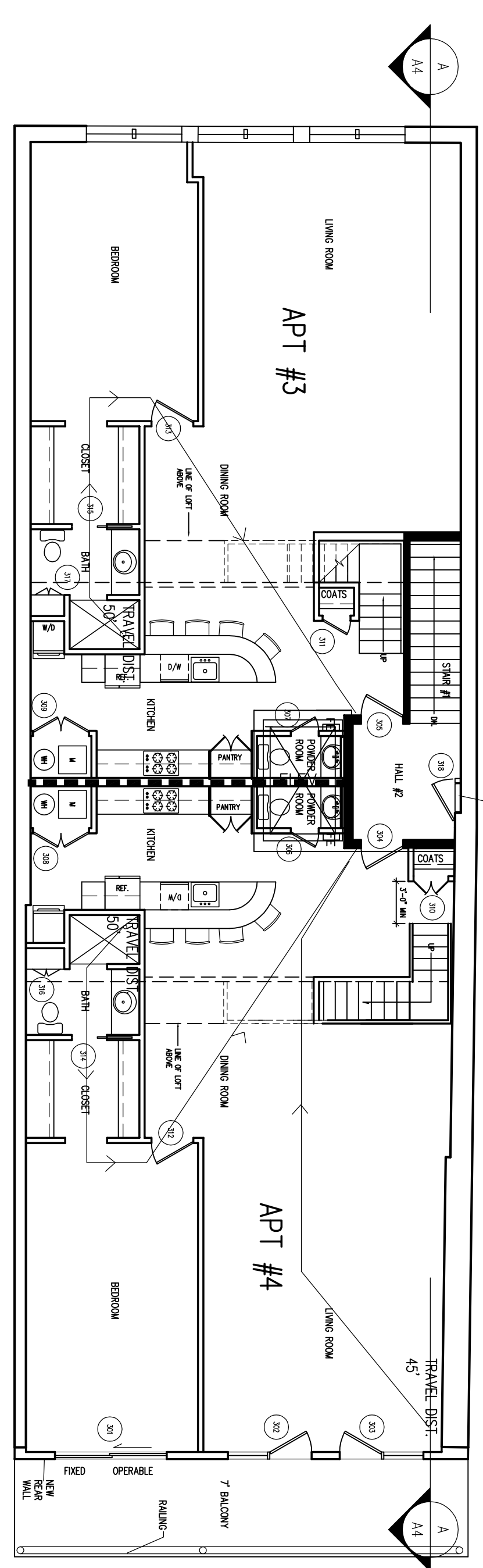
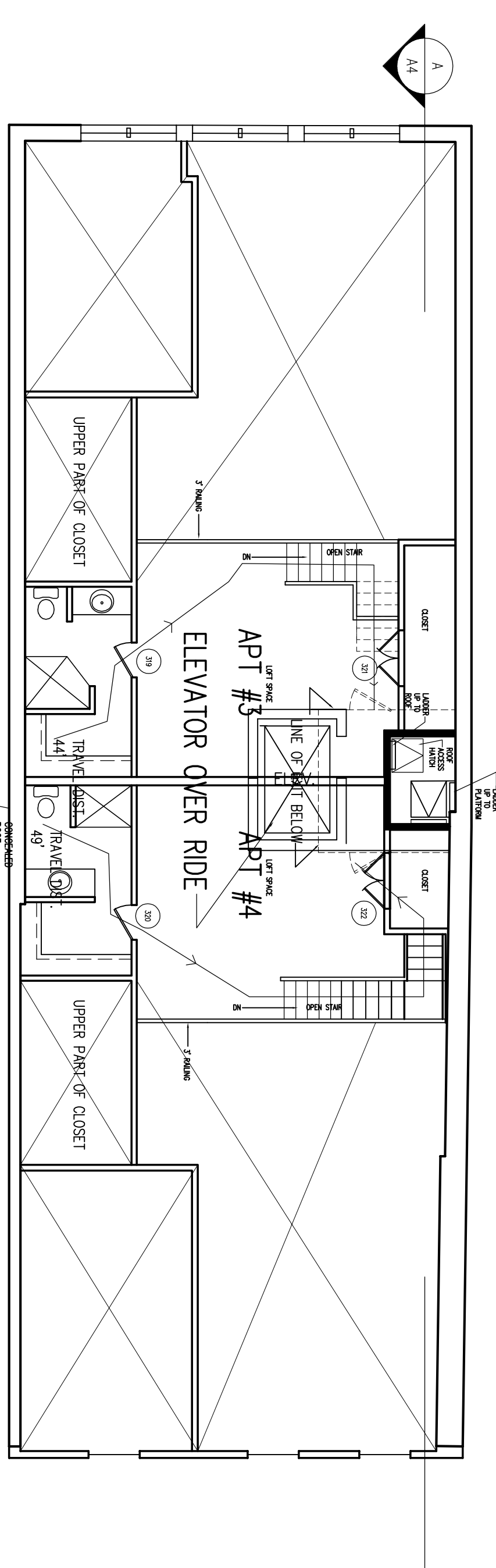
- CHANGED → BUSINESS OCCUPANCY PER TABLE 1004.1.2
- CHANGED → BUSINESS (TENANT) - BASEMENT @ 3323 SF / 100 = 34 PERSONS
- CHANGED → B FIRST FLOOR @ 3058 SF / 100 = 31 PERSONS
- CHANGED → R-2 SECOND FLOOR @ 3151 SF / 200 = 16 PERSONS
- CHANGED → R-2 THIRD FLOOR @ 3151 SF / 200 = 16 PERSONS
- CHANGED → NUMBER OF EXITS
- CHANGED → FIRST FLOOR 1 EXIT PER FLOOR / 75' TRAVEL DISTANCE PER 1018.2
- CHANGED → SECOND FLOOR 2 EXITS PER FLOOR
- CHANGED → THIRD FLOOR 1 EXIT PER APARTMENT & 1 EXIT PER FLOOR
- CHANGED → LOFT 1 EXIT PER APARTMENT & 1 EXIT PER FLOOR
- CHANGED → EGRESS WIDTH
- CHANGED → 44" MIN @ STAIRS PER SECT. 1009
- CHANGED → EGRESS WIDTH PROVIDED 36" MIN. WITHIN APARTMENTS @ R-2
- CHANGED → TRAVEL DISTANCE PER TABLE 1013.1
- CHANGED → TRAVEL DISTANCE 250' MAX. ALLOWABLE @ B OCCUPANCY PER 1013.3 - COMMON PATH OF TRAVEL WILL NOT EXCEED 75'
- CHANGED → ACCESSIBILITY REQUIREMENTS (AND ELEVATORS PROVIDED)
- CHANGED → ACCESSIBILITY TO THE FIRST FLOOR IS REQUIRED AND IS PROVIDED
- CHANGED → ACCESSIBLE TOILET FACILITIES ARE REQUIRED AND ARE PROVIDED
- CHANGED → ACCESSIBILITY TO THE SECOND AND THIRD FLOORS IS PROVIDED

- CHANGED → FIRE RESISTANCE OF STRUCTURAL ELEMENTS PER TABLE 601 AND 602
- CHANGED → STRUCTURAL FRAME 0 HOUR
- CHANGED → BEARING WALLS/EXTERIOR PARTY WALLS 3 HOUR (PER 602 & 705.4)
- CHANGED → BEARING WALLS/EXTERIOR NON-PARTY WALLS 0 HOUR
- CHANGED → BEARING WALLS/INTERIOR 0 HOUR
- CHANGED → NON-BEARING WALLS/PARTITIONS/EXTERIOR 0 HOUR
- CHANGED → NON-BEARING WALLS/PARTITIONS/INTERIOR 0 HOUR
- CHANGED → FLOOR CONSTRUCTION 0 HOUR
- CHANGED → ROOF CONSTRUCTION 0 HOUR (BUSINESS) 0.5 HOUR (RESIDENTIAL) PER TABLE 1016.1
- CHANGED → EXIT ACCESS CORRIDOR 0 HOUR (BUSINESS) 0.5 HOUR (RESIDENTIAL) PER TABLE 1016.1
- CHANGED → TENANT SEPARATION WALL(VERTICAL) 0.5 HOUR - RESIDENTIAL PER 708 (EXCEPTION 2)
- CHANGED → EXIT ENCLOSURE/VERTICAL SHAFTS 1 HOUR

NOTE: MECHANICAL & ELECTRICAL ENGINEERING WILL BE DESIGN-BUILD BY THE GENERAL CONTRACTOR WHO WILL ALSO BE RESPONSIBLE FOR IMPLEMENTING THE DESIGN AND PROCURING ALL RELATED PERMITS.

### DRAWING INDEX

- #### ARCHITECTURAL
- ISP... LIFE SAFETY PLAN & BUILDING CODE INFORMATION
  - CIR... PHASE 2 SITE PLAN
  - A1... BASEMENT AND FIRST FLOOR PLAN
  - A2... SECOND FLOOR PLAN AND WALL TYPE SCHEDULE
  - A3... THIRD FLOOR AND LOFT PLAN
  - A4... BUILDING SECTION
  - A5... BUILDING ELEVATIONS
  - A6... DOOR SCHEDULE & DETAILS; HC TOILET PLANS & ELEVATIONS
- #### STRUCTURAL
- S1... FOUNDATION AND FIRST FLOOR PLAN
  - S2... PROPOSED SECOND LEVEL FRAMING PLAN
  - S3... PROPOSED THIRD FLOOR & LOFT FRAMING PLANS
  - S4... ELEVATION AT CHURCH ST.
  - S5... SECTIONS
  - S6... GENERAL NOTES



### GENERAL NOTES

#### LIFE SAFETY LEGEND

- ⊗ SINGLE FACED EXIT LIGHT
- SINGLE FACED EXIT LIGHT WITH DIRECTIONAL ARROWS
- ⊗ EMERGENCY LIGHT / EXIT LIGHT COMBINATION
- ⊗ RECESSED REMOTE EMERGENCY EGRESS LIGHT
- ⊗ FIRE ALARM HORN-STROBE COMBINATION
- ⊗ FIRE ALARM PULL STATION/HORN-STROBE COMBINATION
- ⊗ FIRE ALARM PULL STATION
- ⊗ SMOKE DETECTOR
- ⊗ HEAT SENSITIVE DETECTOR
- ⊗ WALL MOUNTED EMERGENCY LIGHT
- ⊗ CEILING MOUNTED EMERGENCY LIGHT
- ⊗ FIRE EXTINGUISHER
- PATH/DIRECTION OF EMERGENCY EGRESS
- FIRE ALARM CONTROL PANEL
- EMERGENCY EGRESS WALL MOUNTED LIGHT
- LIGHT/BUZZER (CALL FOR AID ALARM)
- FIRE ALARM STROBE
- CALL FOR AID
- HIR RATED WALL
- 30 MIN WALL REQUIRED/HIR RATED WALL PROVIDED
- ⊗ 2x4 FLUORESCENT NIGHT LIGHT

| NO. | REFERENCE               | DATE     |
|-----|-------------------------|----------|
| 1   | REVISED TRAVEL DISTANCE | 12/10/08 |

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 ARCHITECTURE AND PLANNING  
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 203 245-0110 FAX 203 245-0182

MID-BLOCK DEVELOPMENT  
 91 CHURCH STREET  
 NEW HAVEN, CONNECTICUT 06510

ELEVATOR PLAN  
 WITH BUILDING CODE INFORMATION

JOB NUMBER 07201 SHEET NUMBER  
 STAGE PERMITS  
 DATE 5/6/09

**ELEV**

**BUSINESS (TOTAL OCC. LOAD 34)**

**BSMT FLR PLANS @ 1/8" = 1'-0"**

**FIRST FLR**

**BUSINESS**

**SECOND FLR**

**R2**

**THIRD FLR**

**R2**

**LOFT**

**R2**